

Plan Commission Agenda

July 09, 2024 - 7:00 PM

Hybrid Meeting

In Person: Middleton City Hall, Council Chambers

Virtual: [Zoom.us](https://zoom.us) Meeting ID: 858 3795 0023 Passcode: 548573

Posted on the City's web site at meetings.cityofmiddleton.us

Revised 7/5/24 to add Item #1 (other items renumbered)

Packet updated 7/9/24 with additional correspondence

Call to Order & Roll Call

Approval of Minutes

- 1.) Plan Commission Minutes of June 11, 2024

Agenda Items

- 1.) Specific Implementation Plan Amendment for Courtyard Improvements -- Middleton Glen, 6720 Century Avenue and 3111 Pheasant Branch Road (PC-2360)

BACKGROUND: Applicant JSD Professional Services (Kevin Yeska) is requesting approval to redevelop the existing courtyard area in the southeast quadrant of the property. The project entails adding approximately 4,600 SF impervious surface area, to be largely mitigated through the addition of a rain garden. Most of the improvements will not be readily visible from adjoining properties or public right-of-way due to site topography and trees near the southern property line. Zoning staff concluded that the site modifications adhere to regulations pertaining to the MR-M district, which is the most comparable zoning classification pursuant to Section 10.02.70(5), and we believe that the project does not conflict with any of the SIP criteria for approval in Section 10.10.45(3)(e). (M.O.)

RECOMMENDATION: 1) Determine that the site plan changes meet the criteria for approval and are reasonably consistent with the General Development Plan, and 2) Approve the SIP amendment contingent on engineering staff approval of the stormwater management plan, the light fixtures complying with Chapter 33 Outdoor Lighting Ordinance, and resolution of engineering staff comments.

ENCLOSURES: Applicant submittal dated 6/10/24 (the applicant also provided extensive lighting plan details that are available for review but not included in the packet).

- 2.) General Development Plan (GDP) Amendment -- Conservancy Bend Residences, 2431-2439 Parmenter St. and 2420-2446 Clark St. (PC-2565a) (PC 5/28/24)

BACKGROUND: In response to feedback provided at the May 28 Plan Commission meeting, the applicant on July 2 presented two development options: Option 1 consists of a 44-unit building as proposed in May whereas Option 2 consists of a 50-unit building that would include six 2-bedroom units extending farther west over the underground parking level, which is the same size in both scenarios. See July 3

Planning Staff Report for more background information, staff analysis, and a chronology of previous actions. details. (M.O.)

RECOMMENDATION: See page 2 of Planning Staff Report. Per City ordinance, the Plan Commission is to provide a recommendation to the Council within 60 days of holding the public hearing (In this case, by July 27).

ENCLOSURES: Planning staff report dated 7/3/24; Letter from applicant dated 7/2/24; Option 1 plan set; Option 2 plan set (abbreviated)

3.) Preliminary Plat – The Garden District (Bruce Company Redevelopment) (PC-2614) (PC 02-27-24, PRFC 03-04-24, PRFC 06-17-24)

BACKGROUND: See Attoun memo dated 07-03-24 (A.A.).

RECOMMENDATION: The Plan Commission should consider the Parks, Recreation, and Forestry Commission’s recommendations from their 06/17/24 meeting and provide a recommendation to the Common Council:

1. Only active parkland be counted toward the 3-acre parkland dedication requirement. This means that the following land would be excluded by the 3-acre calculations:

- Proposed underground detention/infiltration facility easement - about 0.25 acres of land
- Creek corridor and banks - about 0.6 acres of land
 - o Create a buffer from the top of slope at 919’ to where the dedicated parkland begins.
- Environmental Corridor - roughly 1.0 acres of land

2. The remaining deficit from the negotiated 3-acre parkland dedication requirement be made up by paying fees in lieu of land dedication.

3. Not accept the request to swap lands to allow City to retain ownership of Parmenter Road frontage.

4. Not accept the request to have a shared parking lot on the city parcel, remove from the city owned parcel to be used for future parkland.

ENCLOSURES: Attoun memo dated 07-03-24, map of the active parkland without the environmental corridor and infiltration area, initial preliminary plat submittal with staff comments (note: a revised preliminary plat that removes the outlot for a sign was submitted on 06/07/24), Scherer memo dated 06-14-24, DRAFT PRFC Minutes of 06-17-24, Sorensen memo dated 06-13-24, City Assessor fair market value calculations, minutes from meetings where this project was reviewed, T. Wall letter on parkland dedication 07-08-24 (added to packet on 07-09-24).

4.) Zoning Ordinance (Chapter 10): Continue Discussion of Potential Revisions (PC-2611)

BACKGROUND: Building on discussion at the May 14 meeting, Planning staff have identified additional revisions that should or could be made to the ordinance since it took effect on March 1. Commissioners are invited to provide feedback with the understanding that a public hearing will need to be scheduled after the proposed ordinance revisions have been finalized. There will be at least one additional memo at a future meeting. (M.O.)

RECOMMENDATION: Provide feedback and guidance to staff.

ENCLOSURE: Planning Staff Memo dated 7/3/24; Wisconsin Housing Alliance input, Smart Growth Madison letter and documents 07-08-24 (updated in packet on 07/09/24).

Adjourn

Posted: 7/5/24 revised to add Item #1

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at this meeting to gather information; however, no action will be taken by any governmental body at this meeting other than the governmental body specifically referenced in this notice.

Any person who has a qualifying disability as defined by the American With Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format must contact the City Administrator at (608) 821-8350, 7426 Hubbard Ave., Middleton, WI at least 24 hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

PLAN COMMISSION
City of Middleton
Tuesday, June 11, 2024

MEETING MINUTES

Meeting materials available at: <https://www.cityofmiddleton.us/112/Agendas-Minutes>

Video recording available at: <https://www.youtube.com/watch?v=k5dslbp7WvA>

CALL TO ORDER & ROLL CALL

Chair Sonnentag called the meeting to order at 7:00 p.m.

Members Present at City Hall: Nick Adams (PRFC representative), Chris Harp, Lisa Janairo (Council representative), Kurt Paulsen, Kurt Sonnentag (Mayor's designee), Erin Summers

Members Participating Online: Randy Bruce

Absent: None

Staff Present: Mark Opitz, Daphne Xu, Nikki Cuevas

MINUTES OF MAY 28, 2024

Sonnentag declared the minutes accepted with the correction of a typo.

AGENDA ITEMS

Item #1: Sign Design Review for Jade True Food, 2227 Parmenter St (PC-2672)

As noted in Xu's staff report, the applicant is proposing a 24 SF illuminated sign on the existing building, in accordance with the sign code.

Moved by Paulsen, seconded by Harp, to approve the sign design & placement. **Motion passed** 7-0.

Item #2: Specific Implementation Plan Modification - Sign Design Review for Genesis Chiropractic, 8391 Greenway Blvd (PC-2441)

As noted in Xu's staff report, the applicant is proposing a 32 SF sign in a location that was not approved in the comprehensive sign plan for this property. The sign splits the location of where two other signs would be according to the comprehensive sign plan. Other than location, the sign follows the sign ordinance.

Moved by Janairo, seconded by Summers, to approve the sign as a minor SIP modification. **Motion passed** 7-0.

Item #3: Specific Implementation Plan -- Greenway Mixed-Use Development, 8309 Greenway Blvd. (PC-2645)

Opitz reported that the Common Council at their June 4 meeting approved rezoning the 2.2 acre parcel back to Planned Unit Development based on a General Development Plan that would allow a

seven story building consisting of apartments above two stories comprised of structured parking, residential, and commercial land uses. As noted in the 6/9/24 staff report, the primary concern is the encroachment of various project elements (retaining wall, stairs, patio) into the public right-of-way along Greenway Blvd., a circumstance that prompted planning staff to propose the removal of the eastbound right-turn lane so that some of the right-of-way could be vacated and added to the parcel. Supplementing the staff report, Opitz noted that there wasn't an indication in the submittal whether the new building adheres to the glare and heat standards (including bird-friendly design requirements) in Section 10.06.34. He added that the assistant director of Parks & Recreation Dept. doesn't have concerns about the landscaping plan. Although widening the adjoining sidewalks would entail removing a nice swamp oak, the tree's future is stunted due to the narrow street terrace. A wider terrace along Greenway Blvd. would enable all the street trees to be replaced.

Drew Mears (Vierbicher & Associates) stated that they are open to the idea because it would add space to beautify the front of the building while placing all improvements on private property. However, they would like to work with the city to analyze cost impacts on the developer. Opitz noted that engineering staff have already added this to the scope of the traffic impact analysis. Mears added that the developer will want to start the license agreement process in the meantime to ensure that they can achieve occupancy dates according to project schedule. He spoke about the site plan adjustments they have made to remove the retaining wall near the northwest corner and to adjust the sidewalk and widen the terrace width at the northeast corner to avoid impacting traffic signals. However, the staircase serving the primary entrance—the design of which factors in the elevation of the floodplain adjoining the site—would still encroach; pulling back the staircase would cut into the square footage of the commercial space. Opitz explained that the city engineer prefers that a new project not resort to obtaining a license agreement because that approach should be reserved for accommodating existing conditions. Abby Hultman (JLA Architects) elaborated why it would be problematic to shift the building south away from the angled right-of-way.

Commissioner questions and discussion centered on the following (with staff or developer responses in parentheses):

- Who is responsible for the cost to remove the right-turn lane? (Any cost-sharing arrangement requires further discussion; traffic signal modifications are likely to be more expensive than relocating the curb.)
- What is the building height in stories and feet? (The highest point faces Greenway Blvd. and is consistent with the 7 story/84 ft. relationship defined in the zoning ordinance. The parapet and elevator shaft are not counted as part of the height.)
- Narrowing the road would considerably improve the project because having trees in front of tall buildings is a critical component of an appropriately designed streetscape.
- How are the cast-in-place walls being treated architecturally? (They will be covered with EIFS for insulation and aesthetic purposes; likely using a medium or light grey tone.)
- Can there be a canopy over entry doors on the east façade, to accentuate entrances and provide weather protection? (The design team is open to this; they would want to match what's over the retail space.)
- How will commercial parking entrance be signed? (They will plan to incorporate signage at the garage entrance directing drivers to the 18 spaces that are closest to the commercial spaces. This will be part of a sign package that will be submitted at a later date.)
- Will mechanical units be visible at street level? (Exact locations haven't been noted yet, but the developer intends to hide or screen them. Vents will face the street and be painted to match the siding.)

Moved by Paulsen, seconded by Bruce, to approve the Specific Implementation Plan with the nine contingencies identified in the staff report along with the following additional contingency:

- Addition of a canopy or sunshade over entrances facing John Q. Hammons Dr.

Bruce inquired about having a contingency related to bird-friendly glass. Hultman responded that they will make the necessary changes to ensure that the project complies with the ordinance.

Moved by Bruce, seconded by Janairo, to amend the motion by adding the following contingency:

- The building design shall comply with all provisions of Section 10.06.34 Glare and Heat Standards.

Motion on the amendment passed 7-0.

Commissioners then voted on the main motion as amended, which now reads: To approve the Specific Implementation Plan with the following contingencies:

1. Completion of the traffic impact analysis (at the developer's expense) and the developer addressing to the satisfaction of the city engineer any recommendations identified by the TIA.
2. Developer will pay the expense of relocating the Greenway Blvd. street curb to the north if the TIA concludes that the right-turn lane can be removed for the purpose of enabling up to 11 feet of street right-of-way to be vacated and added to the property so that 1) all private improvements (including stairs/steps, retaining walls and patios) can be entirely located on private property, and 2) there can be a wider street terrace to replace street trees that the developer plans to remove as part of the project.
3. Execution of a license agreement (to be approved by the Public Works Committee) for any private feature (e.g., retaining wall, stairs, patio) located in the public right-of-way.
4. Developer shall provide a public access / sidewalk easement fully encompassing the sidewalk and street terrace along John Q. Hammons Drive.
5. Provision of bicycle parking spaces in compliance with Section 10.06.06 (quantity, location, design, etc.).
6. City engineer approval of a stormwater management plan.
7. Future Plan Commission approval of an outdoor lighting plan that is based on a submittal meeting the requirements of Section 33.08. Illumination at the existing northern lot line may exceed 0.4 foot-candles at the amount shown in the photometric plan / lighting calculations sheet in the plan set, but all other exterior lighting shall comply with the provisions of Chapter 33.
8. City staff shall be authorized to approve administratively any future permit for façade signs placed in the locations shown on the exterior elevations as long as the signs comply with all provisions of Chapter 22 Sign Ordinance. However, any signage proposed in a location not shown in the SIP will require future Plan Commission approval.
9. Submittal of one comprehensive plan set that resolves all staff comments and recommendations indicated on the plan set provided by the developer on 5/14/24.
10. Addition of a canopy or sunshade over entrances facing John Q. Hammons Dr.
11. The building design shall comply with all provisions of Section 10.06.34 Glare and Heat Standards.

The main motion as amended passed 7-0.

Item #4: Site Plan Review - New Maintenance Building for Pleasant View Golf Course, 1322 Pleasant View Rd (PC-2671)

As noted in Xu's staff report, this application pertains to construction of a second building to house maintenance equipment and, eventually, EV golf carts; a fence and additional landscaping will be added to better shield the maintenance buildings from the road; an exterior photometric lighting plan was not included with the submittal, but the lighting specifications provided to staff abide by the lighting fixture standards in the Outdoor Lighting Code of a maximum intensity of 4,000 lumens and temperature of 4,000K.

Moved by Janairo, seconded by Summers, to approve the site plan with the following contingencies:

1. Resolution of all engineering and forestry staff comments.
2. Light fixtures will not be mounted higher than 20 ft on the exterior of the building.

Janairo asked whether rooftop solar had been considered for this city-owned building, noting the need for electricity to charge EV golf carts. Paulsen questioned whether it was appropriate to require solar through the design review process. He suggested that the Council could establish a policy that all city-owned buildings incorporate solar. Bruce supported the concept but noted that roof exposure may not make it advantageous. Adams agreed. Xu pointed out that the city currently waives zoning permit fees for solar installations, which the zoning ordinance exempts from building height requirements. Janairo spoke about the City's 100% Renewable Energy Policy. Commissioners also discussed plans for screening the site with a fence and through landscaping, including the use of native plantings.

Moved by Paulsen, seconded by Harp, to amend the motion by adding the following contingencies:

3. Addition of trees to fill in gap along southern lot line, with all plantings to adhere to Article 8 of the zoning ordinance.
4. Require installation of solar unless it can be documented that it is economically or technically unfeasible.

Motion on the amendment passed 7-0.

The main motion as amended passed 7-0.

Item #5: Appointment to Pedestrian/Bicycle/Transit Committee

As noted in the staff comments, annually the commission is to designate a representative to serve on this committee pursuant to Section 2.31 of city ordinances. Noting the commissioners already serve on at least two committees, Janairo spoke about her preference that this position be a mayoral appointment instead of a liaison to the commission.

Moved by Paulsen, seconded by Bruce, to appoint Janairo as the Commission's representative.

Motion passed 7-0.

Item #6: Appointment to Workforce Housing Committee

As noted in the staff comments, annually the commission is to designate a representative to serve on this committee pursuant to Section 2.34(1)(c) of city ordinances.

Moved by Paulsen, seconded by Janairo, to appoint Bruce as the Commission's representative. **Motion passed 7-0.**

ADJOURNMENT

Sonnentag declared the meeting adjourned at 7:53 p.m.

Note: These minutes were prepared by Mark Opitz and are not final until they are formally approved at a subsequent meeting.



Letter of Intent

To: Mark Opitz, City of Middleton Planning & Zoning
From: Kevin Yeska, JSD Professional Services, Inc.
Re: Site Plan Review Submittal
JSD Project #: 24-14288
Date: June 10, 2024
Subject: Middleton Glen Courtyard Improvements

TEAM DIRECTORY

- Landowner
 - Middleton Glen Inc
 - Attn: Kay Kruser - Executive Director
 - 6720 Century Avenue, Middleton, WI 53562-1781
 - kkruser@middletonglen.com
- Applicant
 - JSD Professional Services, Inc.
 - Attn: Kevin Yeska, Project Consultant / Landscape Architect, P.L.A
 - 507 W. Verona Drive, Suite 500, Verona, WI
 - E. kevin.yeska@jsdinc.com
- Project Engineer
 - JSD Professional Services, Inc.
 - Attn: Alex Mayou, Civil Engineer, P.E.
 - 7402 Stone Ridge Drive, Suite 4 – Weston, WI 54776
 - E: alex.mayou@JSDInc.com
- Landscape Designer
 - The Bruce Company
 - Attn: Rich Strohmenger
 - 2830 Parmenter Street, Middleton, WI 53562
- Construction Manager / Owner's Rep
 - Vine CM
 - Attn: Geoffery Vine
 - 5133 Wilkinson Rd, Mazomanie, WI 53560
 - E: vinecmllc@gmail.com

OVERVIEW AND SITE CONTEXT

Middleton Glen is a retirement community located at 6720 Century Avenue near the south end of the Pheasant Branch Conservancy. The property is currently zoned PUD. The southern and east wings of the building are oriented in such a way that creates an open space on the southeast side of the parcel fronting Old Creek Road. Middleton Glen desires to improve this area into a resident courtyard with various amenities to serve the 135 residents (97 dwelling units), 12 employees and visitors.

LEGAL DESCRIPTION AND TAX PARCEL NUMBER OF PROPERTIES

- Parcel Number: 070801346118
 - Middleton Hills Replat Lot 1 Tog W/Access Easement in Doc #3033036
- Parcel Number: 070801364222
 - Replat of Plat of Village of Pheasant Branch Lot 2

DESCRIPTION OF PROPOSED IMPROVEMENTS

JSD Professional Services, Inc. and The Bruce Company have consulted with Middleton Glen to provide design services for this courtyard improvements project which includes a new concrete patio and shelter structure supported by limestone retaining walls. Surrounding the new seating space includes a pondless water fountain, dry creek bed, and a bio-retention basin. Opportunities to enjoy sun, shade, and numerous natural planting areas have been provided while properly accounting for the sites grading and drainage components. The dry creek bed will not only provide a path for drainage collected from the building's rooftops and new patio surfaces, but also create a natural buffer to the neighboring residential property to the south. The bio-retention basin terminates the dry creek bed while buffering the patio from Old Creek Road, creating a private patio surrounded by many elements of nature. The ADA accessible patio can be accessed by ramp or stairs and offers a good vantage point of the surrounding space. The patio will be used casually by residents and visitors between 10:00 a.m. and 7:00 p.m.. The space can accommodate larger groups when needed but will likely be utilized by small groups day to day.

DESIGN, ENTITLEMENTS AND CONSTRUCTION SCHEDULE

1. 6/10 - Site Plan Review & Permitting Submittal
2. 6/ 25 – Middleton Planning Commission Meeting
3. 7/1 – Dane County Land and Water Stormwater & Erosion Control Permit Issuance
 - *Subject to reviewer availability
4. 7/2 thru 9/1 – Groundbreaking (Excavation, grading, retaining walls, concrete)
5. 9/1 – 10/1 – Landscaping
6. 10/1 – Grand Opening

We thank you for your time and consideration. Please don't hesitate to contact our team should you have questions.



MIDDLETON GLEN COURTYARD

MIDDLETON, WI

06.10.2024

PROJECT EXTENTS

NOT TO SCALE



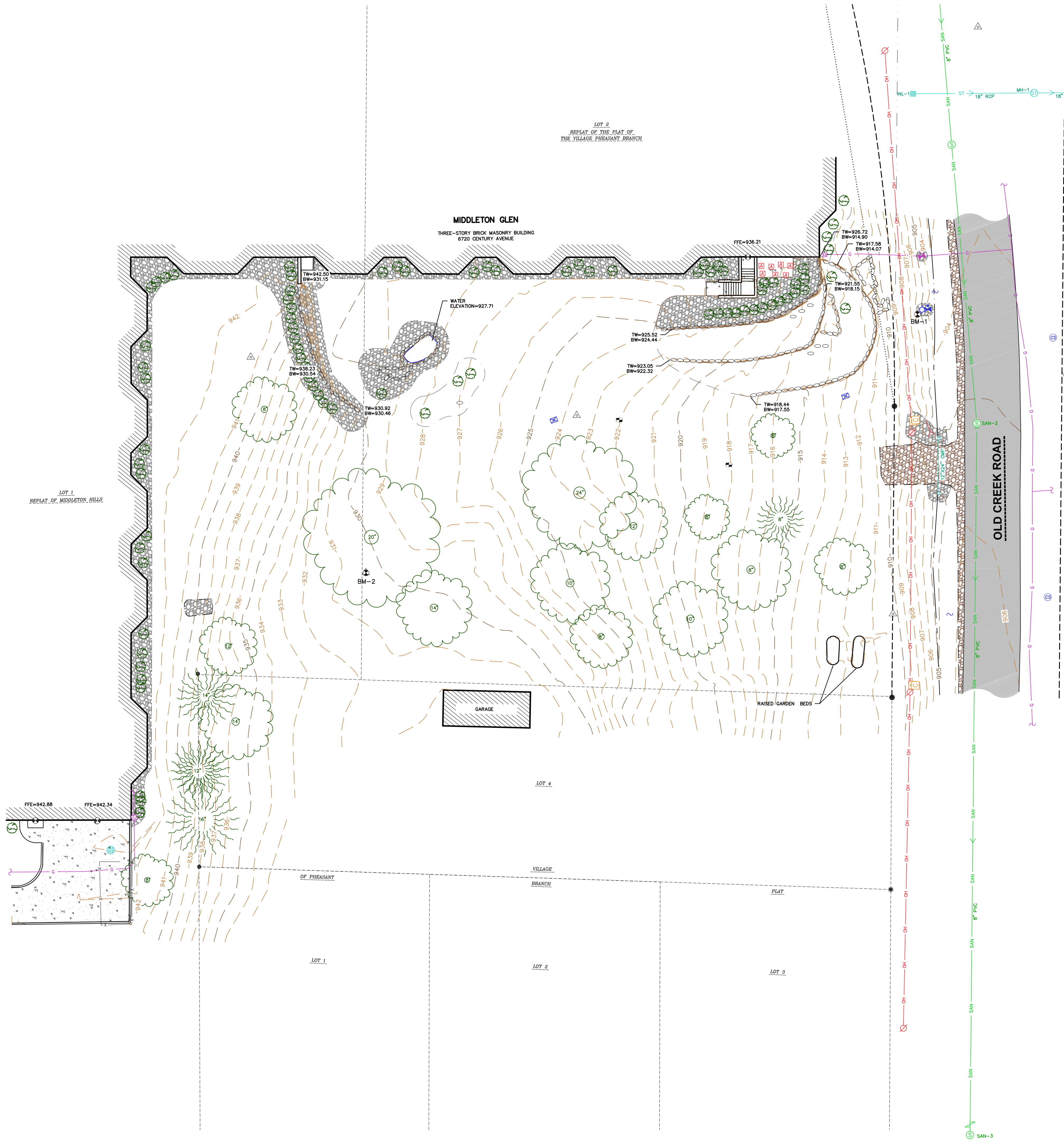
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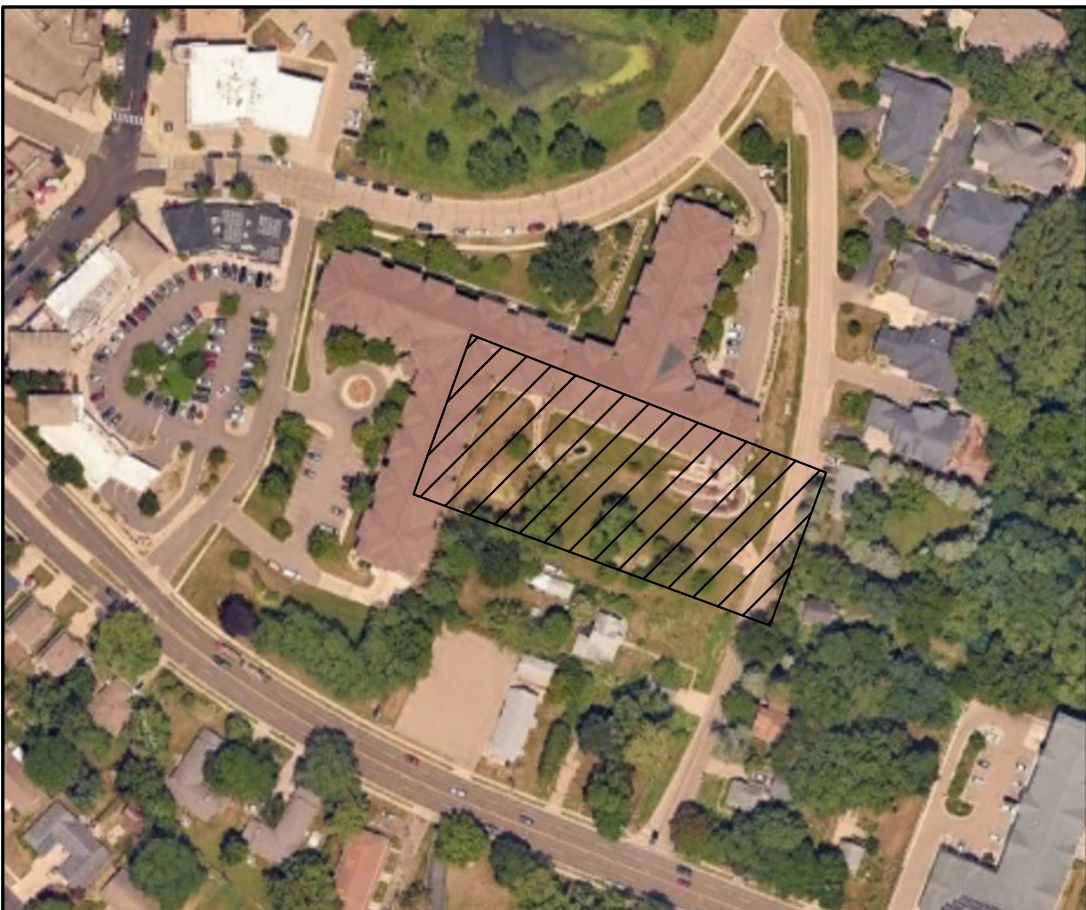
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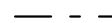







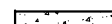


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TOPOGRAPHIC AND UTILITY MAP



VICINITY MAP
NOT TO SCALE

LEGEND					
●	1" IRON PIPE FOUND	✎	GAS REGULATOR/METER	—ST—	STORM SEWER
●	1¼" REBAR FOUND	✎	AIR CONDITION UNIT	—G—	NATURAL GAS
●	¾" REBAR FOUND	✎	POWER POLE	—OH—	OVERHEAD LINE
▲	CONTROL POINT	✎	POWER POLE W/GUY	~~~~~	TREE DRIP LINE
⊕	BENCHMARK	✎	TELEPHONE PEDESTAL		BUILDING
⊙	FINISHED FLOOR SHOT LOCATION	✎	CABLE PEDESTAL		WALL LINE
○	TEST PIT	✎	DECIDUOUS TREE	—875—	INDEX CONTOUR
○	ROCK	✎	CONIFEROUS TREE	—874—	INTERMEDIATE CONTOUR
—	SIGN	✎	CENTERLINE	— — —	EDGE OF WATER
	SANITARY MANHOLE	— — —	RIGHT-OF-WAY LINE	— — —	DITCH LINE
	WATERMAIN OR GASMAIN VALVE	-----	PROPERTY LINE		BITUMINOUS PAVEMENT
	HYDRANT	-----	LANDSCAPE LIMITS		RETAINING WALL
	CURB STOP/SERVICE VALVE	-X-X-	FENCE LINE		CONCRETE PAVEMENT
	SPRINKLER VALVE BOX	o-o-o-o-o-o	STONE WALL		DECORATIVE STONE
	STORM MANHOLE	— — —	EDGE OF GRAVEL		GRAVEL
	SQUARE CASTED INLET	—SAN—	SANITARY SEWER	— — —	EDGE OF BITUMINOUS
	ENDWALL/END OF PIPE	—W—	WATER LINE	~~~~~	END OF FLAGGED UTILITIES

NOTES

- FIELD WORK PERFORMED ON MAY 13, 2024.
- BEARINGS FOR THIS SURVEY AND MAP ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- CONTOUR INTERVAL IS ONE FOOT.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO. 20241914064, 20241913900, 20241914083, 20241914161, AND 20241914150 WITH A CLEAR DATE OF MAY 13, 2024.
- UTILITY COMPANIES CONTACTED THRU DIGGERS HOTLINE:
CITY OF MIDDLETON
MG&E (ELECTRIC AND GAS)
CHARTER COMMUNICATIONS
TDS TELECOM
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- ROADWAY AND SITE UTILITY RECORD DRAWINGS WERE REQUESTED FROM THE CITY OF MIDDLETON. THE UTILITIES SHOWN REPRESENT FIELD LOCATED UTILITIES IN COMBINATION WITH THE SUPPLIED CITY RECORDS.
- THIS IS NOT INTENDED TO BE A BOUNDARY SURVEY, PROPERTY LINES SHOWN FOR REFERENCE ONLY.
- EVIDENCE OF UNDERGROUND SPRINKLER SYSTEM, LINES NOT MARKED IN THE FIELD, AND NO PLANS SUPPLIED.

STORM SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
STM-1	903.02	W	898.77	18"	RCP
		E	898.77	18"	RCP

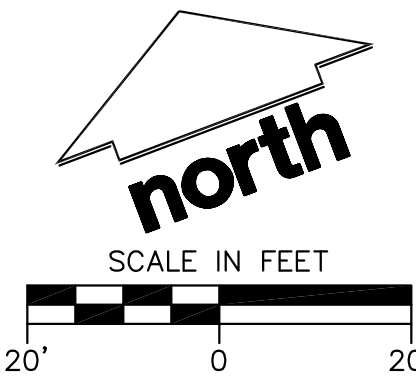
STORM SEWER INLETS					
INLET ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
INL-1	902.13	W	900.61	4"	CPP
		E	899.78	18"	RCP

SANITARY SEWER MANHOLES					
STRUCT. ID	RIM ELEVATION	INVERT	ELEVATION	PIPE SIZE	PIPE TYPE
SAN-1	902.14	N	897.98	8"	PVC
		NW	897.45	8"	PVC
		S	897.45	8"	PVC
SAN-2	905.20	N	897.16	8"	PVC
		NE	897.16	8"	PVC
		S	897.10	8"	PVC
SAN-3	909.19	N	895.60	8"	PVC
		W	895.30	8"	PVC
		S	895.27	8"	PVC

BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	906.73	TAG NUT ON HYDRANT ON THE WEST SIDE OF OLD CREEK ROAD
BM-2	930.08	REBAR #6 ON SOUTHWEST CORNER OF SITE BETWEEN 3 TREES

*JSD DOES NOT GUARANTEE THE BENCHMARK ELEVATIONS LISTED ON THIS MAP ARE ACCURATE AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

State
benchmarks to
NAVD88 datum.



CREATE THE VISION TELL THE STORY

jsdinc.com

MADISON REGIONAL OFFICE
507 WEST VERONA AVENUE, SUITE 500
VERONA, WISCONSIN 53593
P. 608.848.5060

CLIENT:

MIDDLETON GLEN, INC.

CLIENT ADDRESS:

6720 CENTURY AVENUE
MIDDLETON, WISCONSIN 53562

PROJECT:

MIDDLETON GLEN
COURTYARD
IMPROVEMENTS

PROJECT LOCATION:

6720 CENTURY AVENUE
MIDDLETON, DANE COUNTY
WISCONSIN 53562

MODIFICATIONS:

#	Date:	Description:
1		
2		
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Prepared By: ZHG 05/21/24

SHEET TITLE:

TOPOGRAPHIC
AND UTILITY
MAP

SHEET NUMBER:

1 OF 1

PROJECT NO:

24-14288

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File: JSD\INC\Project\2024\2414288\DWG\Civil Sheets\2414288.dwg Layout: C01 User: alex.mayor Plotted: Jun 10, 2024 - 2:46pm Xref:

<div>GENERAL NOTES</div> <div><div>1. REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGENDS.</div><div>2. ALL WORK IN THE RIGHT-OF-WAY AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS, JURISDICTIONAL SPECIFICATIONS, AND APPROVED BY THE JURISDICTION HAVING AUTHORITY.</div><div>3. EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION MATCH EXISTING GRADES AT CONSTRUCTION LIMITS.</div><div>4. NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES.</div><div>5. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.</div><div>6. CONTRACTOR SHALL RESTORE ALL BUILDINGS, PAVEMENT, PIPES, SLOPES, AND STRUCTURES DAMAGED BY THE CONTRACTOR TO PRE-EXISTING OR BETTER CONDITIONS.</div><div>7. THE RIGHT-OF-WAY IS THE SOLE JURISDICTION OF THE JURISDICTIONAL AUTHORITY AND IS SUBJECT TO CHANGE AT ANY TIME.</div><div>8. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.</div><div>9. ANY REFERENCES TO THE TERMS OR ENTITY ABBREVIATIONS IN THE FOLLOWING NOTES AND SPECIFICATIONS SHALL BE UNDERSTOOD AS FOLLOWS:<div><div>9.1. "JURISDICTION" - " - THE LOCAL GOVERNMENTAL AGENCY (I.E., CITY, VILLAGE, TOWN, COUNTY, STATE, OR UTILITY SERVICE PROVIDER) HAVING AUTHORITY.</div><div>9.2. "STATE HIGHWAY SPECIFICATIONS" - "STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, CURRENT EDITION AND SUPPLEMENTS</div><div>9.3. "STANDARD SPECIFICATIONS" - "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, CURRENT EDITION AND SUPPLEMENTS</div><div>9.4. WISCONSIN DEPARTMENT OF TRANSPORTATION - "WISDOT"</div><div>9.5. WISCONSIN DEPARTMENT OF NATURAL RESOURCES - "WDNR"</div><div>9.6. DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES - "DSPS" OR "SPS"</div></div></div></div> <div>DEMOLITION NOTES</div> <div><div>1. THIS PLAN INDICATES ITEMS ON THE PROPERTY INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE, "DIGGERS HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVEGROUND OBSERVATION, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S/BIDDER'S RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE, AND PROVIDE THEIR OWN DUE DILIGENCE TO INCLUDE IN THEIR BID WHAT ADDITIONAL ITEMS, IN THEIR OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR/BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE ENGINEER OF RECORD. JSD TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.</div><div>2. CONTRACTOR SHALL KEEP ALL STREETS AND PRIVATE DRIVES FREE AND CLEAR OF ALL CONSTRUCTION-RELATED DIRT, DUST, AND DEBRIS.</div><div>3. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. STUMPS MAY BE GROUND TO PROPOSED SUBGRADE IN GRASSED AREAS ONLY UNLESS DIRECTED BY ENGINEER.</div><div>4. ABANDONED/REMOVED ITEMS SHALL BE LEGALLY DISPOSED OF OFF-SITE UNLESS NOTED OTHERWISE.</div><div>5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO:<div><div>5.1. EXAMINE ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.</div><div>5.2. VERIFY UTILITY ELEVATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.</div><div>5.3. NOTIFY ALL UTILITIES OWNER'S PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.</div><div>5.4. NOTIFY THE DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.</div></div></div><div>6. ANY UTILITIES THAT ARE DAMAGED BY THE CONTRACTORS SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.</div><div>7. CONTRACTOR SHALL COORDINATE PRIVATE UTILITY REMOVAL/ABANDONMENT AND NECESSARY RELOCATION WITH UTILITY COMPANY. CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITY COMPANIES PRIOR TO CONSTRUCTION.</div><div>8. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH THE APPROVED JURISDICTION'S RECYCLING PLAN.</div><div>9. ANY CONTAMINATED SOILS ENCOUNTERED SHALL BE REMOVED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS AND DISPOSED OF AT A LANDFILL LICENSED TO ACCEPT CONTAMINATED SOILS.</div><div>10. ALL EXISTING UTILITIES SHALL BE FIELD LOCATED AND CLEARLY MARKED BY CONTRACTOR PRIOR TO ANY EXCAVATION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES OCCUR IN THE LOCATION SHOWN OR PROPOSED IMPROVEMENTS IMPACTING EXISTING UTILITY LINE LOCATION(S). CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING UTILITY LINE OPENINGS (ULO) TO CONFIRM LOCATIONS OR ELEVATIONS, AS REQUESTED BY THE ENGINEER.</div><div>11. SEWER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 3.2.24 OF THE STANDARD SPECIFICATIONS AND JURISDICTIONAL SPECIFICATIONS.</div><div>12. WATER ABANDONMENT SHALL BE IN ACCORDANCE WITH SECTION 4.14.0 OF THE STANDARD SPECIFICATIONS AND JURISDICTIONAL SPECIFICATIONS.</div><div>13. ALL PERIMETER EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF DEMOLITION ACTIVITIES. CONTRACTOR SHALL KEEP ALL STREETS AND PAVEMENTS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST, AND DEBRIS.</div><div>14. BUILDING REMOVALS SHALL BE PERFORMED BY A QUALIFIED CONTRACTOR. CONTRACTOR SHALL FOLLOW ALL DEMOLITION REGULATIONS, DISCONNECT ALL UTILITIES, OBTAIN ALL APPLICABLE PERMITS, AND DISPOSE OF ALL BUILDING MATERIALS IN APPROPRIATE AND APPROVED LANDFILLS. DEMOLISHED MATERIALS SHALL NOT BE BURNED OR BURIED ONSITE.</div><div>15. CONTRACTOR SHALL REMOVE EXISTING UTILITY PIPE OR PROVIDE PIPE BACKFILLING AFTER REMOVAL OF EXISTING UTILITIES WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE/FLOWABLE FILL".</div><div>16. RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHALL BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION, AND REMOVAL. THIS INCLUDES CURB AND GUTTER, SIDEWALK, TOPSOIL, SEEDING, AND MULCHING.</div></div>
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 PAVING NOTES 1. GENERAL: 1.1. PAVING SHALL CONFORM TO STATE HIGHWAY SPECIFICATIONS AND APPLICABLE JURISDICTIONAL SPECIFICATIONS. 1.2. ALL PAVING DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS NOTED OTHERWISE. 1.3. ALL SPOT GRADES ARE TO EDGE OF PAVEMENT UNLESS NOTED OTHERWISE. 1.4. SURFACE PREPARATION - NOTIFY ENGINEER/OWNER OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING. 2. CRUSHED AGGREGATE BASE COURSE SPECIFICATIONS: 2.1. BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305 OF THE STATE HIGHWAY SPECIFICATIONS. 2.2. RECLAIMED OR RECYCLED ASPHALT MAY NOT BE USED AS CRUSHED AGGREGATE BASE COURSE UNLESS SPECIFICALLY APPROVED BY THE ENGINEER OF RECORD. USE OF ANY OTHER REPROCESSED OR BLENDED MATERIAL MUST FIRST BE APPROVED BY ENGINEER OF RECORD. 2.3. DO NOT PLACE BASE ON FROZEN FOUNDATIONS UNLESS THE ENGINEER APPROVES OTHERWISE. 2.4. DO NOT PLACE BASE ON FOUNDATIONS THAT ARE SOFT, SPONGY, OR COVERED BY ICE OR SNOW. 3. HOT MIXED ASPHALT (HMA) PAVING SPECIFICATIONS: 3.1. THE PLACING, CONSTRUCTION, AND COMPOSITION OF THE BASE COURSE AND HMA SURFACE COURSE SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS. 3.2. WEATHER LIMITATIONS: 3.2.1. DO NOT PLACE HMA WHEN BASE IS WET OR CONTAINS EXCESS MOISTURE. 3.2.2. DO NOT PLACE ASPHALTIC MIXTURE WHEN THE AIR TEMPERATURE APPROXIMATELY 3' ABOVE GRADE, IN SHADE, AND AWAY FROM ARTIFICIAL HEAT SOURCES IS LESS THAN 40°F UNLESS A VALID ENGINEER-ACCEPTED COLD WEATHER PAVING PLAN IS IN EFFECT. 3.2.3. PLACE ASPHALTIC MIXTURE ONLY ON A PREPARED, FIRM, AND COMPACTED BASE, FOUNDATION LAYER, OR EXISTING PAVEMENT SUBSTANTIALLY SURFACE-DRY AND FREE OF LOOSE AND FOREIGN MATERIAL. DO NOT PLACE OVER FROZEN SUBGRADE OR BASE, OR WHERE THE ROADBED IS UNSTABLE. 3.2.4. APPLY TACK COAT ONLY WHEN THE AIR TEMPERATURE IS 32°F OR MORE UNLESS THE ENGINEER APPROVES OTHERWISE IN WRITING. 3.2.5. ALL ASPHALT (BOTH UPPER AND LOWER LAYERS) SHALL BE DELIVERED TO THE PROJECT SITE AT A TEMPERATURE NOT LOWER THAN 250°F. 3.3. CONTRACTOR SHALL ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION. 3.4. BINDER COURSE AGGREGATE: 3.4.1. THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTION 460 OF THE STATE HIGHWAY SPECIFICATIONS. 3.5. SURFACE COURSE AGGREGATE 3.5.1. THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460 AND 465 OF THE STATE HIGHWAY SPECIFICATIONS. 3.6. ASPHALTIC MATERIALS 3.6.1. THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTIONS 455, 460, AND 465 OF THE STATE HIGHWAY SPECIFICATIONS. 4. CONCRETE PAVING SPECIFICATIONS: 4.1. CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 405, 415, AND 416 OF THE STATE HIGHWAY SPECIFICATIONS. 4.2. CURING COMPOUNDS SHALL CONFORM TO SECTION 415 OF THE STATE HIGHWAY SPECIFICATIONS. 4.3. CONTRACTOR SHALL PROVIDE A JOINTING PLAN TO ENGINEER IF NOT INCLUDED IN THE PLANS. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 15' ON CENTER. 4.4. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 100' APART. 4.5. PLACE EXPANSION JOINTS IN CURB, GUTTER, OR CURB AND GUTTER CONSTRUCTED NEXT TO ASPHALTIC PAVEMENT OR SURFACING. LOCATE JOINTS EVERYWHERE THAT TANGENT AND RADIAL CURB OR CURB AND GUTTER MEET; ON EACH SIDE OF EVERY INLET 3' FROM THE INLET, BUT NO CLOSER THAN 6" FROM ANOTHER JOINT; AND ON TANGENT SECTIONS PLACE BETWEEN 6" AND 300'. 4.6. IF CONSTRUCTING CURB, GUTTER, OR CURB AND GUTTER NEXT TO, OR ON, CONCRETE PAVEMENT CONSTRUCTED WITH EXPANSION JOINTS, THEN PLACE EXPANSION JOINTS TO MATCH THE EXPANSION JOINT LOCATIONS IN THE PAVEMENTS. 4.7. FOR CURB AND GUTTER, FORM CONTRACTION JOINTS BY SAWING OR FORMING AN INDUCED PLANE OF WEAKNESS AT LEAST 2" DEEP IN THE CURB, GUTTER, OR CURB AND GUTTER DIRECTLY OPPOSITE CONSTRUCTION OR CONTRACTION JOINTS IN ADJOINING CONCRETE PAVEMENT AND AT THE REQUIRED SPACING IN CURB, GUTTER, OR CURB AND GUTTER ADJOINING ASPHALTIC PAVEMENT. SPACE JOINTS BETWEEN 6" AND APPROXIMATELY 20' APART, AS THE ENGINEER DIRECTS. 4.8. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED. 4.9. CONTRACTOR SHALL INSTALL TRUNCATED DOME WARNING DETECTION FIELD SHALL BE PLACED AT ALL ADA RAMPS AS SPECIFIED ON PLANS AND IN ACCORDANCE WITH STATE AND FEDERAL REQUIREMENTS. 5. PAVEMENT MARKING SPECIFICATIONS: 5.1. ALL PARKING STALL LINES SHALL BE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT. 5.2. ALL PAVEMENT MARKINGS INCLUDING STOP BARS, CROSSWALKS, DIRECTIONAL ARROWS, PARKING STALL LINES, ADA STALL MARKINGS, NO PARKING ZONES, AND DROP-OFF/PICK-UP ZONES SHALL BE PAINTED WITH LATEX PAINT PER SPECIFICATIONS. | UTILITY NOTES 1. ALL EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEIR OWN DETERMINATION AS TO THE TYPE AND LOCATIONS OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. CONTRACTOR/OWNER SHALL CALL "DIGGERS HOTLINE" PRIOR TO ANY CONSTRUCTION. 2. PRIOR TO CONSTRUCTION, THE PRIME CONTRACTOR IS RESPONSIBLE FOR: 2.1. EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION. 2.2. OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY. 2.3. VERIFYING ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER, AND STORM LATERALS AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS. NOTIFY ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED. 2.4. NOTIFYING ALL UTILITIES PRIOR TO INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS. 2.5. NOTIFYING THE DESIGN ENGINEER AND JURISDICTIONAL AUTHORITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION. 2.6. COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS. 3. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC UTILITIES AND STATE DSPS/SPS AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE JURISDICTIONAL AUTHORITIES. 4. SPECIFICATIONS SHALL COMPLY WITH THE JURISDICTIONAL AUTHORITY'S SPECIAL PROVISIONS. 5. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION. 6. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS. 7. CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED IN CONSTRUCTION SITES WHERE THE POTENTIAL FOR PEDESTRIAN INJURY EXISTS. 8. CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT ALL UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH THE FINISHED GRADES OF THE AREAS EFFECTED BY THE CONSTRUCTION. 9. ALL NON-METALLIC UTILITY PIPES (SANITARY SEWER, STORM SEWER, AND WATER PIPING) SHALL BE INSTALLED IN CONJUNCTION WITH TRACER WIRE AS REQUIRED BY SPS 382.30(11)(H), SPS 382.38(7)(C)(I), AND SPS 382.40(8)(K). COLOR OF TRACER WIRE SHALL BE: SANITARY SEWER - GREEN, STORM SEWER - BROWN, WATER - BLUE, NON-POTABLE WATER - PURPLE. 10. DRY UTILITIES (COMMUNICATION, TELEPHONE, GAS, ELECTRIC, ETC.) ARE SHOWN FOR GENERAL ROUTING ONLY. CONTRACTOR SHALL COORDINATE DESIGN AND FINAL LOCATION WITH APPROPRIATE UTILITY COMPANY. 11. THE PRIME CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS. 12. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE JURISDICTIONAL AUTHORITY'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. 13. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE INSTALLED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES. 14. IN ANY LOCATIONS WHERE BUILDING SEWERS (STORM AND SANITARY) ARE INSTALLED WITH LESS THAN THE MINIMUM COVER AS SPECIFIED IN SPS 382.30(11)(c) OR WATER PIPING 382.40(8)(a), CONTRACTOR SHALL INSTALL INSULATION IN ACCORDANCE WITH SPS 382.30(11)(c)2. FOR PROTECTION FROM FROST. 15. STORM SEWER SPECIFICATIONS: 15.1. PIPE: 15.1.1. REINFORCED CONCRETE PIPE (RCP) - SHALL MEET THE REQUIREMENTS OF ASTM CLASS III (MINIMUM) C76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C443. 15.1.2. HIGH DENSITY DUAL-WALL POLYETHYLENE CORRUGATED PIPE (HDPE) - SHALL BE AS MANUFACTURED BY ADS OR EQUAL WITH WATERTIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M294 TYPE "S". 15.1.3. POLYVINYL CHLORIDE (PVC) - SHALL MEET REQUIREMENTS OF ASTM D3034, SDR 35 FOR PIPE SIZES 8"-15" WITH INTEGRAL BELL TYPE FLEXIBLE ELECTROMETRIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D3212, ASTM 1785 SCHEDULE 40 FOR PIPE DIAMETERS 4"-6". SDR 35 SHALL BE USED FOR DEPTHS 3'-15' AND SDR 26 FOR DEPTHS 16'-25' DEPENDENT ON LOCAL JURISDICTION. 15.2. INLETS AND CATCH BASINS: 15.2.1. INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 3.6.3 AND DETAIL DRAWINGS FILE NO. 28 OR 29 OF THE STANDARD SPECIFICATIONS, OR APPROVED EQUAL WITH A 2'X3' MAXIMUM OPENING. 15.2.2. POLYVINYL CHLORIDE (PVC) INLETS BY NYLOPLAST ONLY WHEN SPECIFIED ON PLANS, CONFORMING TO ASTM D1781, ASTM D3212, ASTM F477, AND MANUFACTURER'S REQUIREMENTS. REFER TO PLANS FOR LID OR GRATE SPECIFICATION. 15.2.3. FRAME AND GRATE/LIDS: 15.2.3.1. CURB FRAME AND GRATES SHALL BE NEENAH R-3067 WITH TYPE "R" GRATE OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS. 15.2.3.2. SOLID LID FRAME AND GRATES SHALL BE NEENAH R-1550, HEAVY DUTY NON-ROCKING SOLID LID OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS. 15.2.3.3. GRATE FRAME AND GRATES SHALL BE NEENAH R-1556, HEAVY DUTY WITH A R-2578 GRATE OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS. 15.2.4. MANHOLES: 15.2.4.1. MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 3.5.0 AND DETAIL DRAWINGS FILE NO. 11 AND/OR 12 OF THE STANDARD SPECIFICATIONS. 15.2.3.2. MANHOLE FRAMES AND COVERS SHALL BE NEENAH R-1556, HEAVY DUTY NON-ROCKING SOLID LID OR EQUAL, UNLESS AS SPECIFIED IN THE PLANS. 15.3. BACKFILL AND BEDDING: 15.3.1. STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5' BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5' FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. 15.3.2. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.43.5 OF THE STANDARD SPECIFICATIONS. 15.4. FIELD TILE CONNECTIONS: 15.4.1. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER. | EROSION CONTROL NOTES 1. CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL AND STORMWATER MANAGEMENT PLANS. 2. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH WDNR TECHNICAL STANDARDS AND JURISDICTIONAL REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS. 3. INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE, AND EXISTING INLET PROTECTION) PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE COVER. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO WDNR TECHNICAL STANDARDS AND JURISDICTIONAL REQUIREMENTS. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE JURISDICTIONAL AUTHORITIES PRIOR TO DEVIATION OF THE APPROVED PLAN. 4. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY JURISDICTIONS HAVING AUTHORITY AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST. 5. INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY. 6. ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5". ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION. 7. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRE-APPROVED BY THE JURISDICTION. CONSTRUCTION ENTRANCES SHALL BE 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" SELECTED CRUSHED. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT OFF-SITE AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED. 8. PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPED TO REMOVE ACCUMULATED SOIL, DIRT, AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE JURISDICTIONAL AUTHORITIES. 9. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLETS OF ALL INSTALLED STORM SEWER. STONE DITCH CHECKS FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. 10. INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES. IF STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES IS REQUIRED. IF DISTURBANCE OCCURS BETWEEN NOVEMBER 15TH AND MAY 15TH, THE MULCHING SHALL BE PERFORMED BY HYDRO-MULCHING WITH A "TACKIFIER." 11. DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION. 12. EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, ETC.): 12.1. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH. 12.2. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION. 12.3. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE WDNR DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH. 13. ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING PER STATE HIGHWAY SPECIFICATIONS OR APPLICATION OF A WSDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED WITHIN SEVEN (7) DAYS OF REACHING FINAL GRADE. DRAINAGE SWALES SHALL BE STABILIZED WITH CLASS II, TYPE B EROSION MATTING PER STATE HIGHWAY SPECIFICATIONS. EROSION MATTING AND/OR NETTING USED ONSITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES AND WDNR TECHNICAL STANDARDS 1052 AND 1053. 14. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDNR TECHNICAL STANDARD 1068. 15. A CONCRETE WASHOUT AREA SHALL BE DESIGNATED ONSITE. CONTRACTOR SHALL USE PRE-MANUFACTURED ABOVE GROUND WASHOUT TOTE OR EQUIVALENT CONTAINMENT AREA FOR ALL CONCRETE WASTE. CONCRETE WASTE SHALL ONLY BE CONTAINED IN ABOVE GROUND PRE-FABRICATED CONTAINERS OR CONSTRUCTED CONTAINMENT AREA AND IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FREQUENTLY DISPOSE OF OFF-SITE IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS TO MAINTAIN THE SYSTEMS EFFECTIVENESS. 16. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS: 16.1. THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED OR IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE. 16.2. CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED (I.E., THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAY). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. 16.3. STABILIZATION MEASURES SHALL BE DETERMINED BASED ONSITE CONDITIONS WHEN CONSTRUCTION ACTIVITY HAS CEASED INCLUDING, BUT NOT LIMITED TO, WEATHER CONDITIONS AND LENGTH OF TIME THE MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES: 16.3.1. PERMANENT SEEDING, IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION 16.3.2. TEMPORARY SEEDING; MAY CONSIST OF SPRING OATS(100LBS.ACRE) IN SPRING/SUMMER OR WHEAT OR CEREAL RYE (150LBS./ACRE) IN FALL 16.3.3. HYDRO-MULCHING WITH A TACKIFIER 16.3.4. WOVEN AND NON-WOVEN GEOTEXTILES 16.3.5. EROSION MATTING 16.3.6. SODDING 16.3.7. OTHER MEASURES AS APPROVED BY THE ENGINEER 17. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A CONTIGUOUS DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES. 18. CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDNR REQUIREMENTS AND/OR REQUEST FOR PERMIT CLOSURE IN ACCORDANCE WITH JURISDICTION PERMIT AND SPECIFICATION REQUIREMENTS. | GRADING AND EARTHWORK NOTES 1. ALL PROPOSED GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY ALL GRADES, MAKE SURE ALL AREAS DRAIN PROPERLY, AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION. 2. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR COMPUTATIONS OF ALL GRADING QUANTITIES. WHILE JSD PROFESSIONAL SERVICES, INC. ATTEMPTS TO PROVIDE A COST-EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARDS OF CARE. THEREFORE, NO GUARANTEE CAN BE MADE FOR A BALANCED SITE. 3. ALL EXCAVATIONS AND FILLS SHALL BE TO THE ELEVATIONS SHOWN ON THE DRAWINGS AND SHALL INCLUDE SUFFICIENT DEPTHS FOR PLACEMENT OF FILL MATERIALS, BASE COURSES, PAVEMENTS, TOPSOIL, AND OTHER MATERIALS TO THE SPECIFIED DEPTHS. 4. CONTRACTOR SHALL NOT EXCAVATE BELOW ELEVATIONS OR DESIGN GRADES SHOWN ON THE DRAWINGS WITHOUT PRIOR AUTHORIZATION FROM ENGINEER AND OWNER. 5. PRIOR TO ALL EXCAVATION OR FILLING OPERATIONS, CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL TOPSOIL FROM PROPOSED LOCATIONS OF BUILDINGS, STRUCTURES, ROADS, WALKS, OTHER PAVED AREAS, STORM WATER FACILITIES OR WITHIN THE GRADING EXTENTS WHERE EXISTING GRADES ARE ALTERED BY MORE THAN 3". REMOVED OR STRIPPED TOPSOIL SHALL BE SEGREGATED AND STOCKPILED ON-SITE IN AN APPROPRIATE LOCATION TO BE RESPREAD AS SPECIFIED ON THE DRAWINGS. 6. CONTRACTOR SHALL NOT PLACE ANY FILL OR OTHER MATERIALS ON AREAS THAT HAVE NOT HAD TOPSOIL REMOVED, ARE FROZEN, SATURATED, OR YIELDING. CONTRACTOR SHALL NOTIFY OWNER OR ENGINEER IF SUBGRADE CONDITIONS ARE NOT SUITABLE FOR SUPPORTING FILL AND A FURTHER DETERMINATION SHALL BE PROVIDED BY OWNER OR ENGINEER. 7. CONTRACTOR SHALL PLACE THE FILLS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT INCLUDING LIFT DEPTHS AND COMPACTION EFFORTS. 8. PRIOR TO PLACEMENT OF BASE COURSE MATERIALS IN PAVEMENT OR HARD SURFACE AREAS OR CONDUCTING EXCAVATION BELOW SUBGRADE (EBS) ELEVATIONS, CONTRACTOR SHALL NOTIFY OWNER AND ENGINEER TO CONDUCT AN INSPECTION OF THE PREPARED SUBGRADE AND PROOF-ROLLING. PROOF-ROLLING SHALL BE CONDUCTED BY THE CONTRACTOR IN WITNESS OF THE OWNER AND ENGINEER. OWNER AND ENGINEER SHALL DETERMINE IF AREAS OF EBS ARE REQUIRED. EBS SHALL BE COMPLETED BY THE CONTRACTOR PER THE DIRECTION OF THE OWNER AND ENGINEER. 9. SOIL MATERIAL SPECIFICATIONS: 9.1. FILL AND BACKFILL MATERIALS 9.1.1. SATISFACTORY MATERIALS ARE NOT AVAILABLE ONSITE OR ADDITIONAL MATERIALS ARE REQUIRED, REFER TO IMPORTED FILL MATERIAL SPECIFICATIONS. 9.2. IMPORTED FILL MATERIAL 9.2.1. MATERIAL SHALL BE PROVIDED BY THE CONTRACTOR FROM OFFSITE BORROW AREAS WHEN SUFFICIENT, SATISFACTORY MATERIALS ARE NOT AVAILABLE ONSITE. IMPORTED FILL MATERIAL SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND CONSIST OF CLEAN MATERIAL OF INORGANIC SOILS OR A MIXTURE OF INORGANIC SOIL AND ROCK, STONE, OR GRAVEL. THE MATERIAL SHALL BE FREE OF TOPSOIL, VEGETATION, PAVEMENT RUBBLE, DEBRIS, OR OTHER DELETERIOUS MATERIALS. THE MAXIMUM NOMINAL DIMENSION OF MATERIALS CONSISTING OF ROCK, STONE, OR GRAVEL SHALL BE 6" . 9.3. GRANULAR FILL 9.3.1. MATERIAL SHALL CONSIST OF CLEAN MATERIAL MEETING THE REQUIREMENTS OF GRADE 1" OR GRADE 2" GRANULAR BACKFILL AS DEFINED IN SECTION 209.2.1 OF THE STATE HIGHWAY SPECIFICATIONS. | PLAN MODIFICATIONS: | # | Date: | Description: | |----|------------|---------------------| | 1 | 06.10.2024 | MUNICIPAL SUBMITTAL | | 2 | | | | 3 | | | | 4 | | | | 5 | | | | 6 | | | | 7 | | | | 8 | | | | 9 | | | | 10 | | | | 11 | | | | 12 | | | | 13 | | | | | | | |

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BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	906.73	TAG NUT ON HYDRANT ON THE WEST SIDE OF OLD CREEK ROAD
BM-2	930.08	REBAR #6 ON SOUTHWEST CORNER OF SITE BETWEEN 3 TREES

*JSD DOES NOT GUARANTEE THE BENCHMARK ELEVATIONS LISTED ON THIS MAP ARE ACCURATE AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	DEMOLITION - REMOVAL OF LANDSCAPE BEDDING
	TREE REMOVAL
	SHRUB REMOVAL
	PROTECT EXISTING TREE



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CLIENT:
MIDDLETON GLEN, INC.

CLIENT ADDRESS:
6720 CENTURY AVENUE
MIDDLETON, WISCONSIN 53562

PROJECT:
COURTYARD IMPROVEMENTS

PROJECT LOCATION:
6720 CENTURY AVENUE
MIDDLETON, DANE COUNTY
WISCONSIN 53562

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Designed By: APM
Reviewed By: ACG
Approved By: ACG

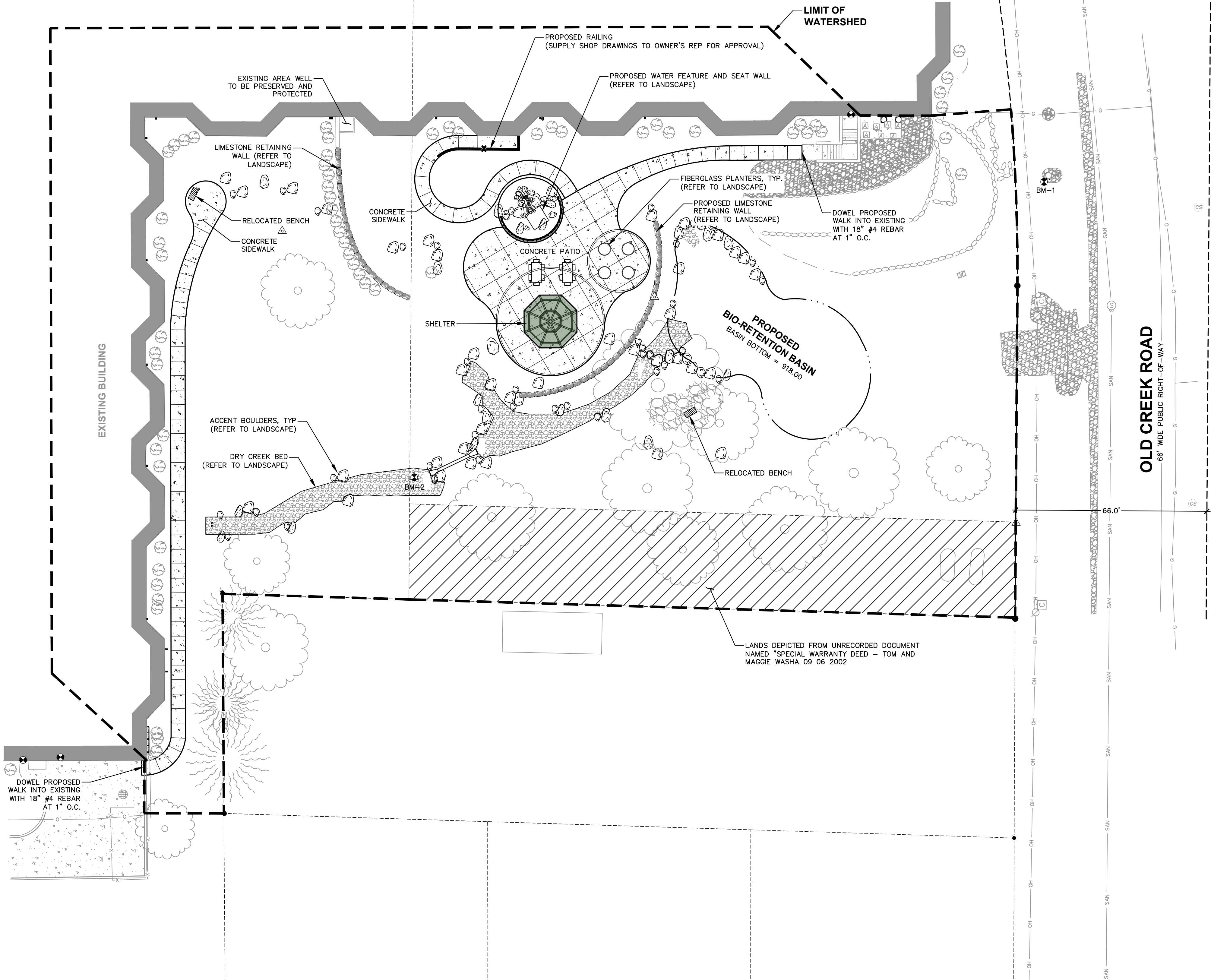
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DEMOLITION PLAN

SHEET NUMBER:

C1.0

JSD PROJECT NO: 24-14288

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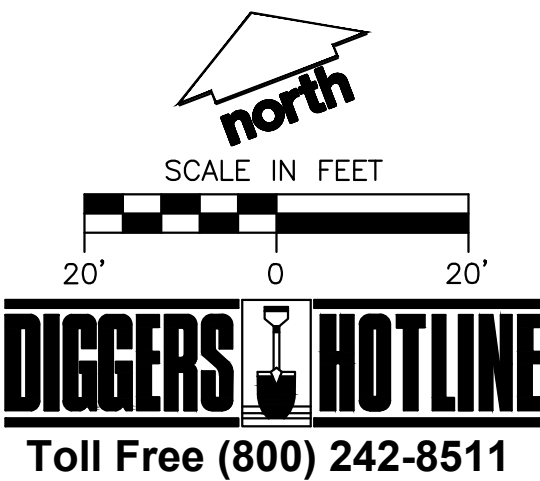


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*JSD DOES NOT GUARANTEE THE BENCHMARK ELEVATIONS LISTED ON THIS MAP ARE ACCURATE AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	EDGE OF PAVEMENT
	CONCRETE PAVEMENT
	STORMWATER MANAGEMENT AREA
	RETAINING WALL
	RAILING

WATERSHED INFORMATION BLOCK	
SITE ADDRESS	6720 CENTURY AVE & 3111 PHEASANT BRANCH RD
WATERSHED ACREAGE	1.55 ACRES
EXISTING VS. PROPOSED WATERSHED COVERAGE	
EXISTING IMPERVIOUS SURFACE AREA	16,750 SF
EXISTING PERVIOUS SURFACE AREA	50,921 SF
EXISTING IMPERVIOUS SURFACE AREA RATIO	0.25
PROPOSED IMPERVIOUS SURFACE AREA	21,970 SF
PROPOSED PERVIOUS SURFACE AREA	45,701 SF
PROPOSED IMPERVIOUS SURFACE AREA RATIO	0.33



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PROJECT:
**COURTYARD
IMPROVEMENTS**

PROJECT LOCATION:
**6720 CENTURY AVENUE
MIDDLETON, DANE COUNTY
WISCONSIN 53562**

PLAN MODIFICATIONS:		
#	Date:	Description:
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Designed By:	APM
Reviewed By:	ACG
Approved By:	ACG

SHEET TITLE:
SITE PLAN

SHEET NUMBER:

C2.0

JSD PROJECT NO: 24-14288

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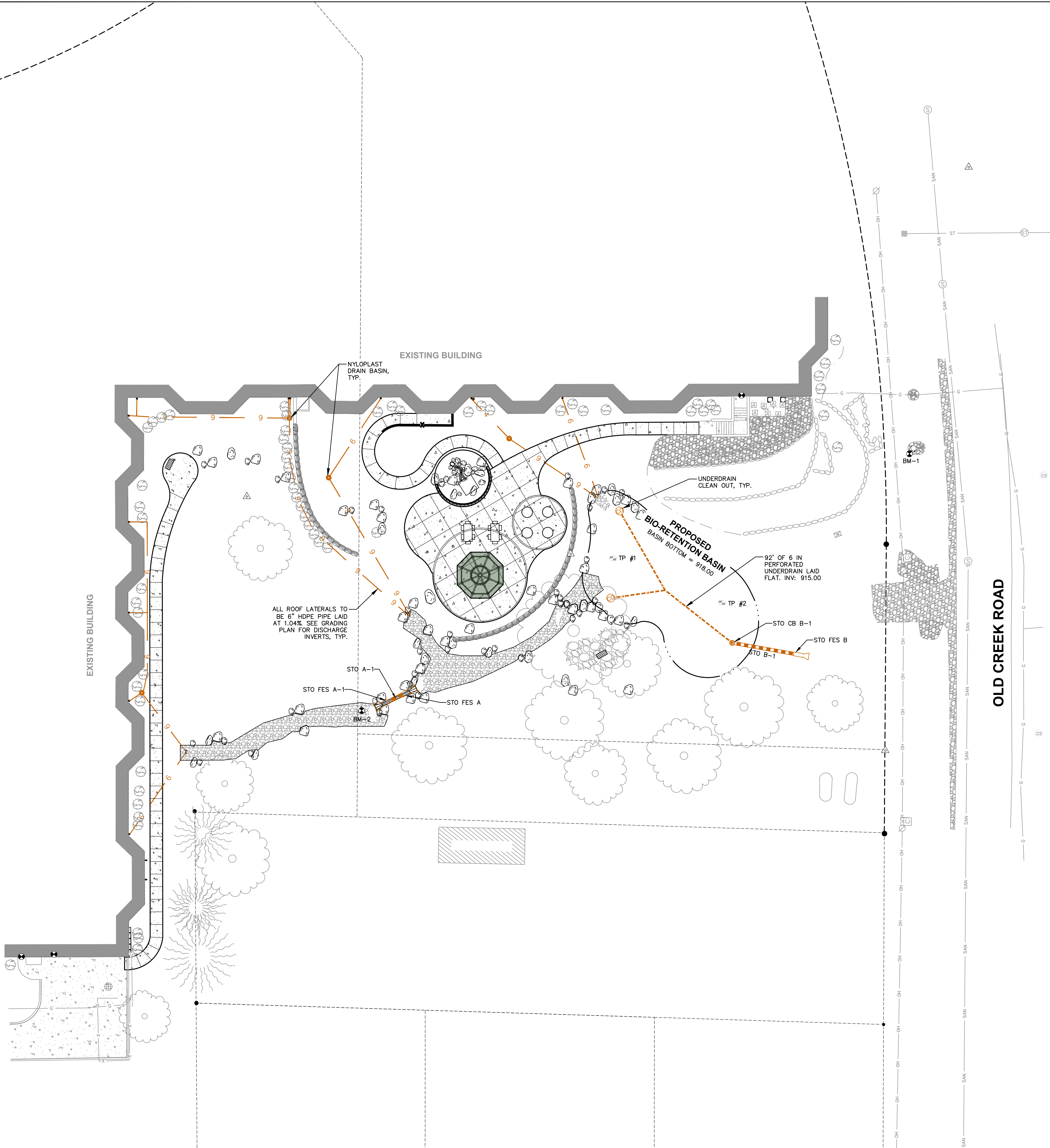
CLIENT ADDRESS:
**6720 CENTURY AVENUE
MIDDLETON, WISCONSIN 53562**

PROJECT:
COURTYARD IMPROVEMENTS

PROJECT LOCATION:
**6720 CENTURY AVENUE
MIDDLETON, DANE COUNTY
WISCONSIN 53562**



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BENCHMARKS		
BENCH MARK	ELEVATION	DESCRIPTION
BM-1	906.73	TAG NUT ON HYDRANT ON THE WEST SIDE OF OLD CREEK ROAD
BM-2	930.08	REBAR #6 ON SOUTHWEST CORNER OF SITE BETWEEN 3 TREES

*JSD DOES NOT GUARANTEE THE BENCHMARK ELEVATIONS LISTED ON THIS MAP ARE ACCURATE AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION ACTIVITIES.

LEGEND	
	PROPERTY LINE
	RIGHT-OF-WAY
	EDGE OF PAVEMENT
	CONCRETE PAVEMENT
	STORMWATER MANAGEMENT AREA
	RETAINING WALL
	RAILING
	STORM SEWER
	SILT FENCE
	RIP-RAP
	CONSTRUCTION ENTRANCE
	EROSION MATTING
	TURF REINFORCEMENT MATTING
	SPOT ELEVATION EP - EDGE OF PAVEMENT FG - FINISH GRADE EC - EDGE OF CONCRETE BOC - BACK OF CURB MATCH - MATCH EXISTING GRADE HP - HIGH POINT SW - SIDEWALK
	DITCH CHECK
	INLET PROTECTION

PROPOSED STORM SEWER STRUCTURE TABLE					
LABEL	RIM EL. (FT)	INVERT EL. (FT)	DEPTH (FT)	STRUCTURE DESC.	FRAME & GRATE
STO CB B-1	919.75	SE INV: 914.25 (15")	6.0	36 IN MH (FLAT)	HAALA CG36TM
STO FES A	929.60	W INV: 927.93 (18")	927.9	18 IN HDPE FES	N/A
STO FES A-1	931.40	E INV: 929.73 (18")	929.7	18 IN HDPE FES	N/A
STO FES B	915.50	NW INV: 914.13 (15")	913.0	15 IN HDPE FES	N/A

* INSTALL (2) - 6" ORIFICES INV: 919.00 REFER TO DETAIL ON C5.1.
-CONNECT 6" PERFORATED HDPE UNDERDRAIN INV: 915.00
-6" SUMP INCLUDED IN DEPTH.

PROPOSED STORM SEWER PIPE TABLE							
LABEL	FROM	TO	LENGTH	INVERT EL. (FT)	DISCHARGE EL. (FT)	SLOPE	SIZE & MATERIAL
STO A-1	STO FES A-1	STO FES A	6'	929.73	927.93	31.36%	18 IN HDPE
STO B-1	STO CB B-1	STO FES B	25'	914.25	914.13	0.50%	15 IN HDPE



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PROJECT:
COURTYARD
IMPROVEMENTS

PROJECT LOCATION:
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MIDDLETON, DANE COUNTY
WISCONSIN 53562

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1	06.10.2024	MUNICIPAL SUBMITTAL
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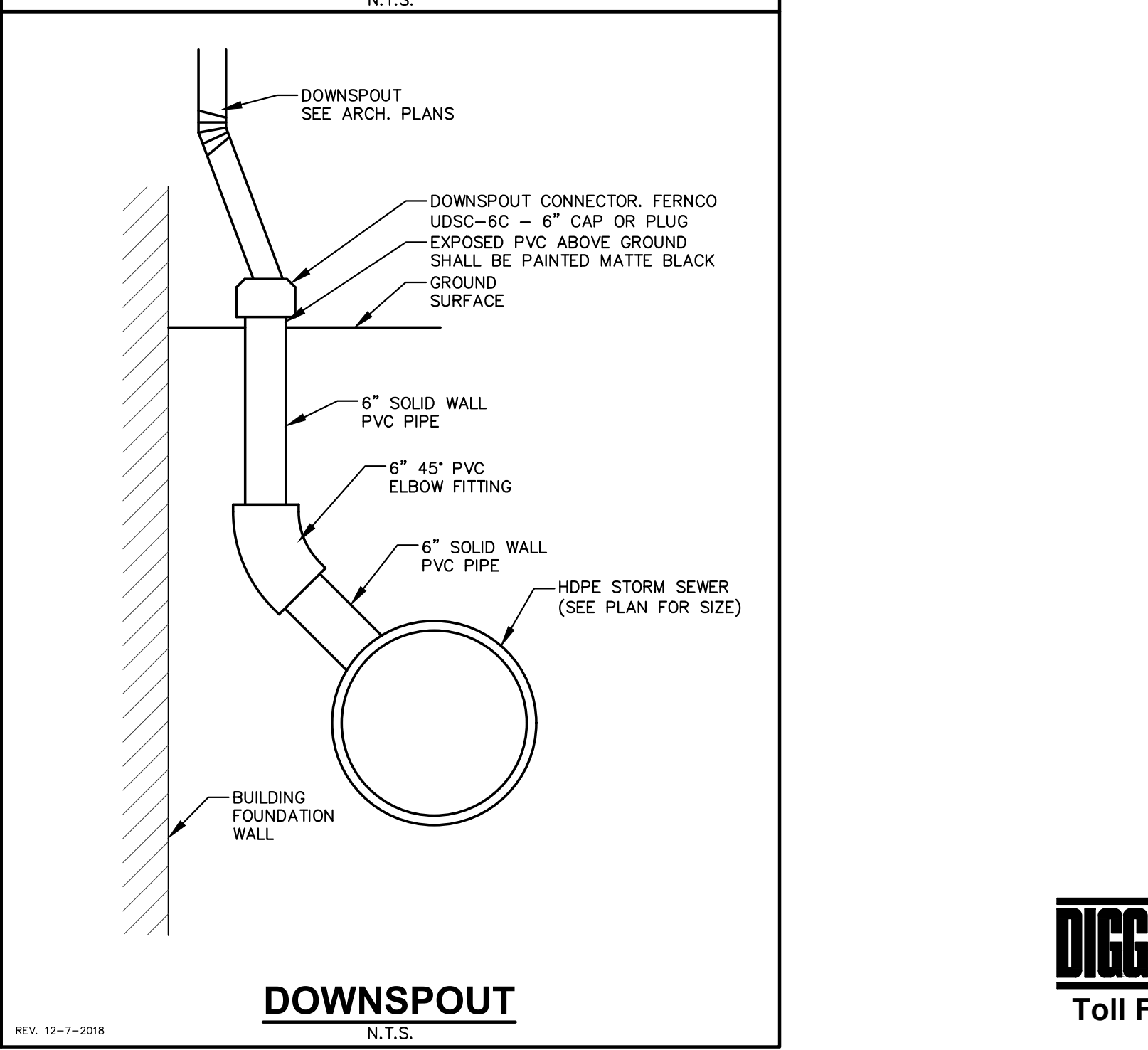
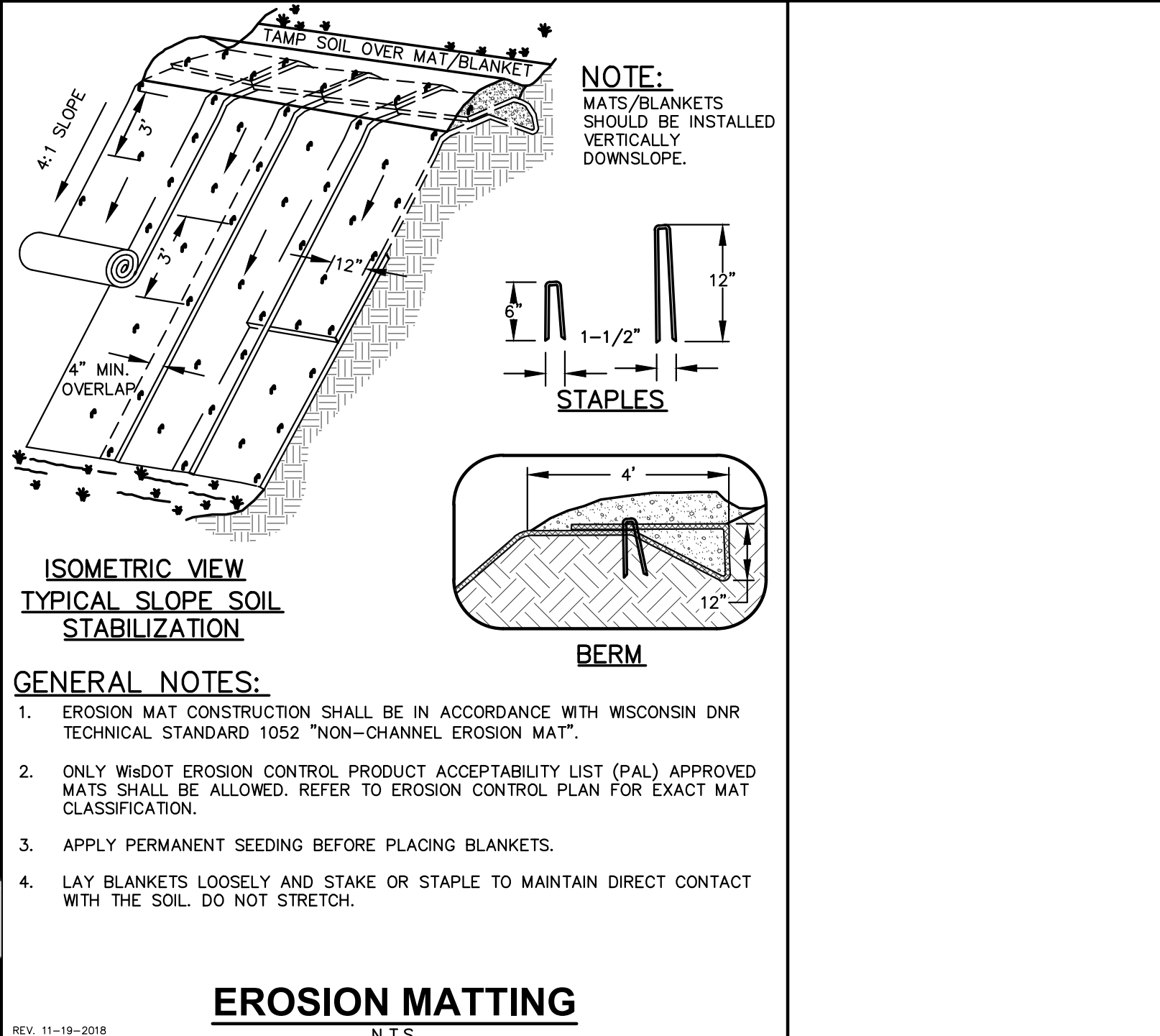
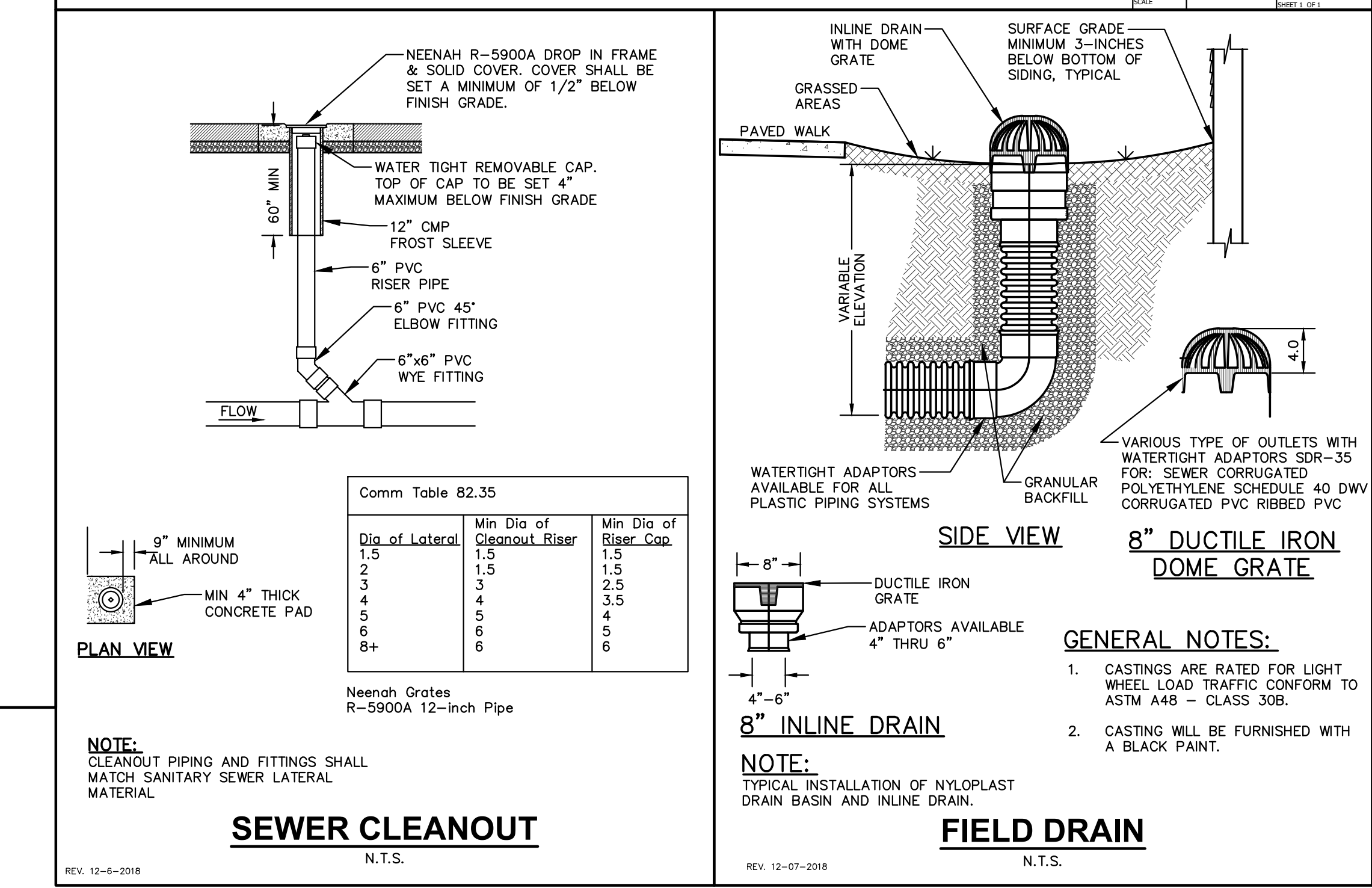
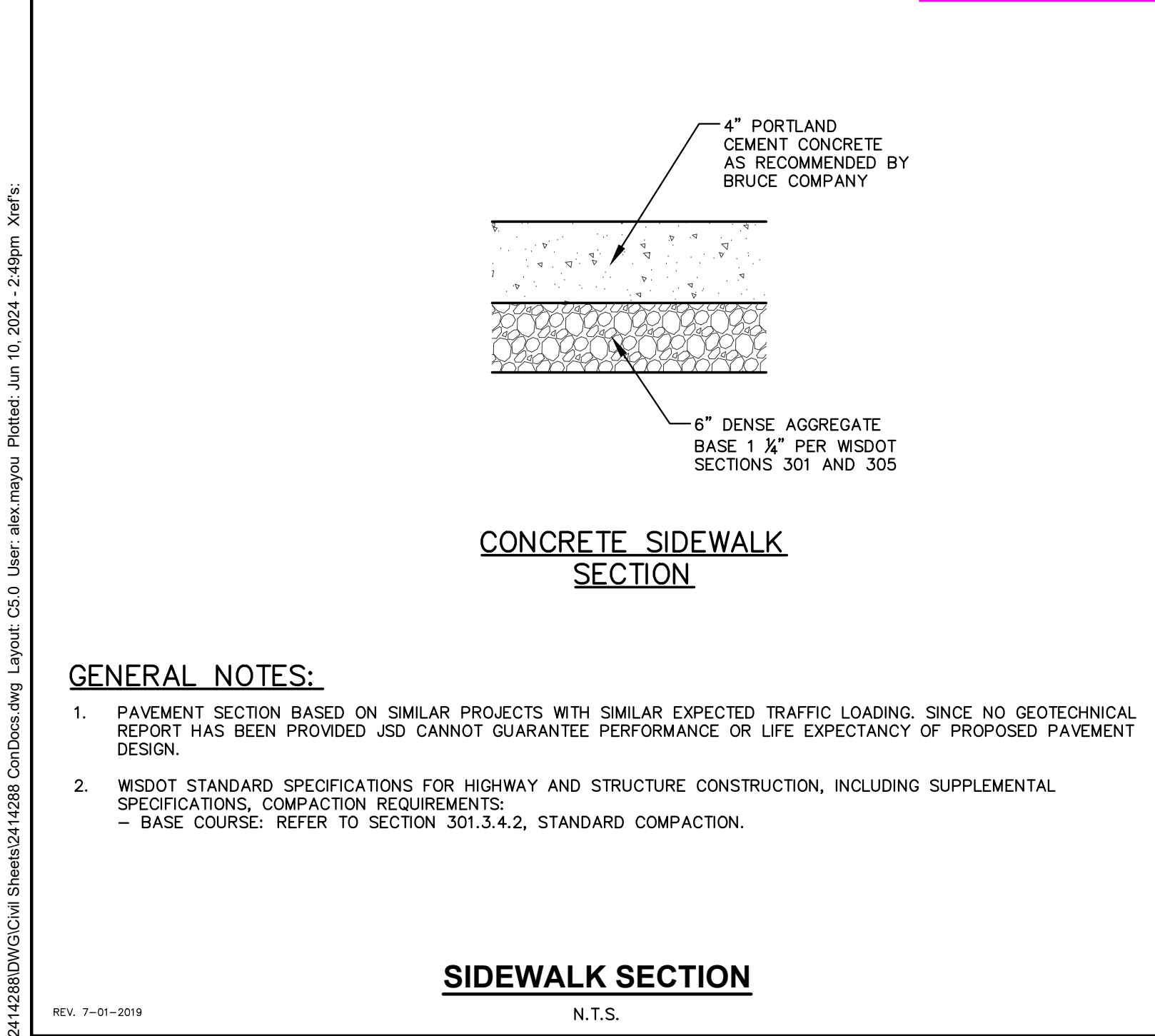
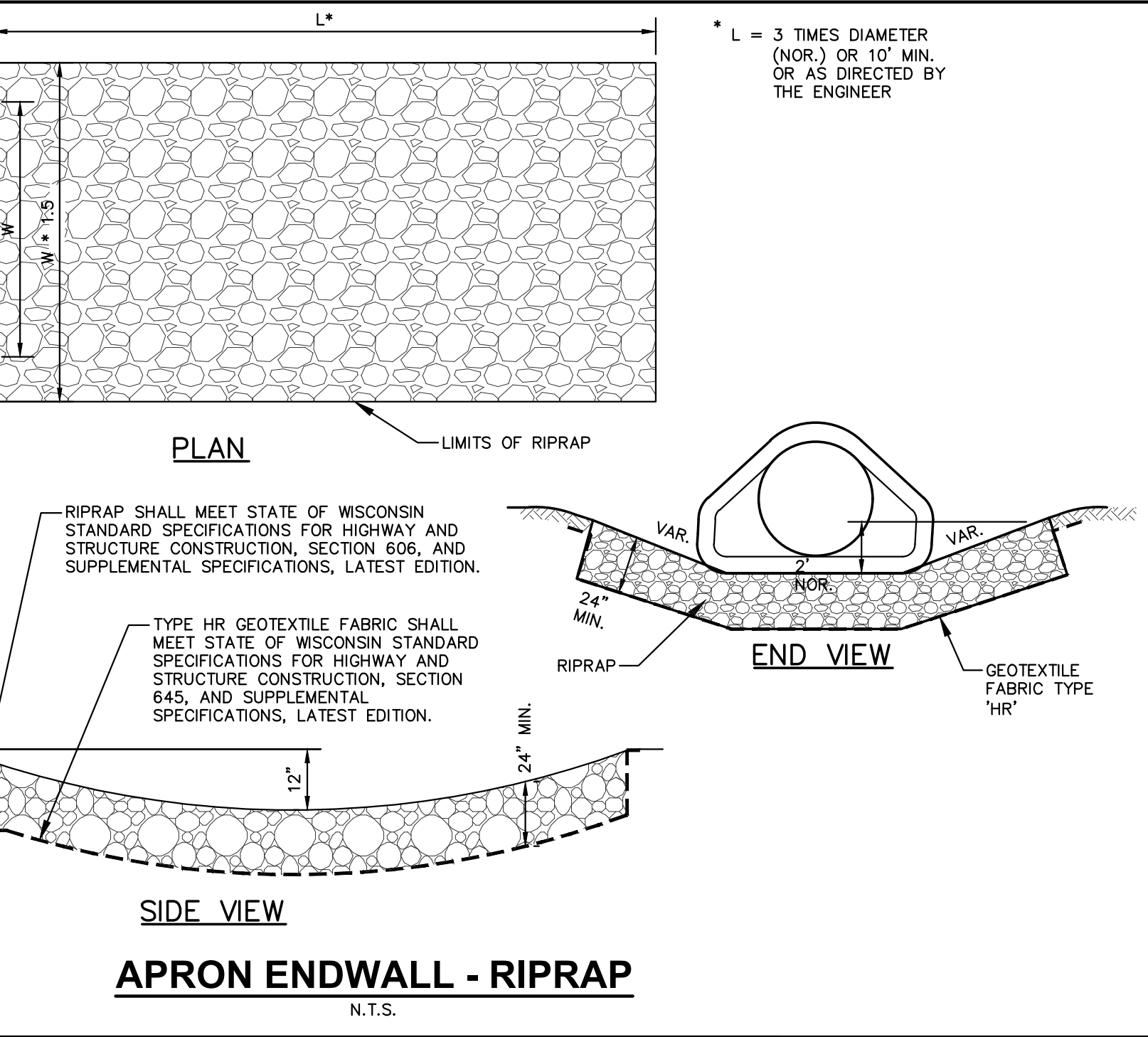
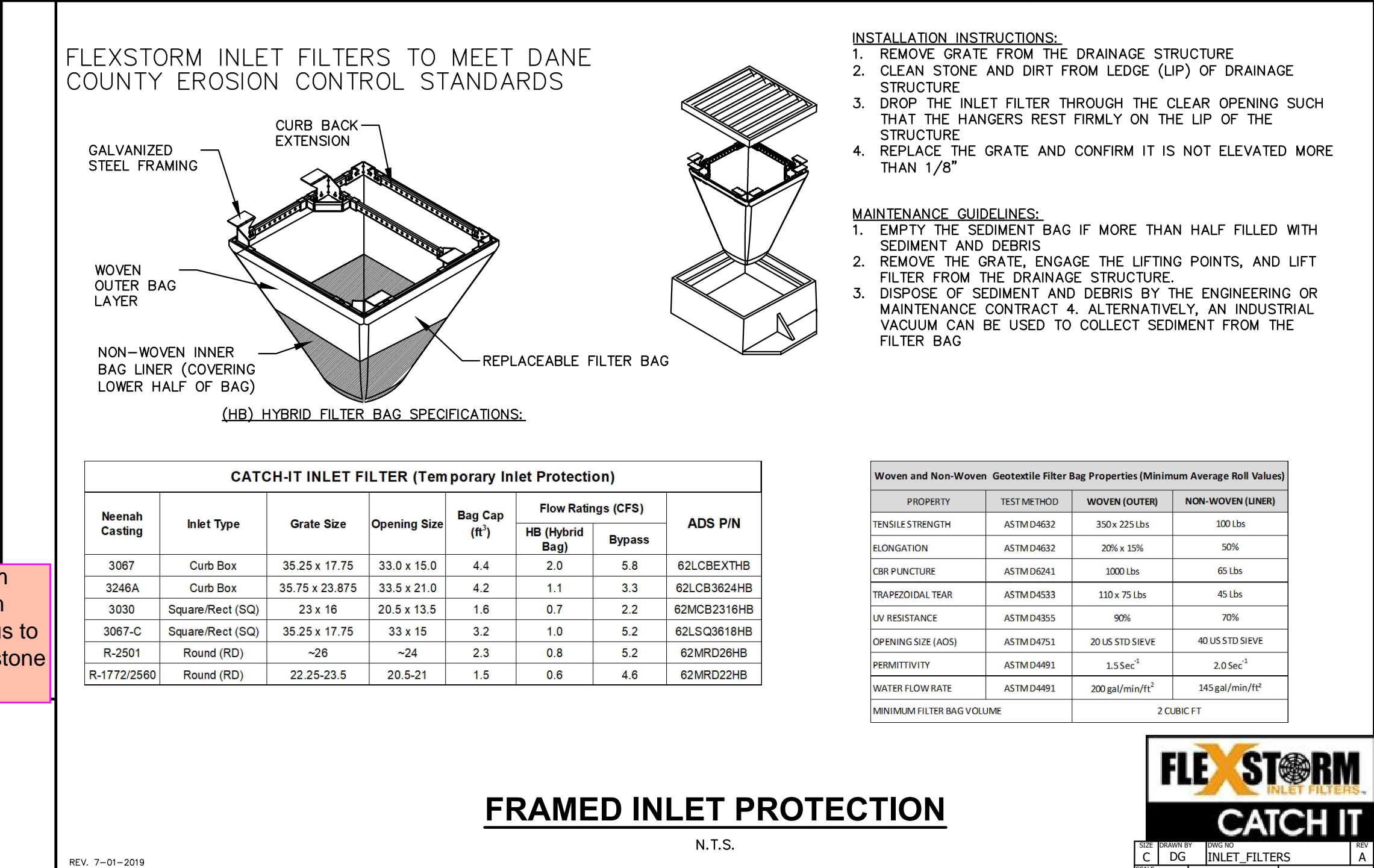
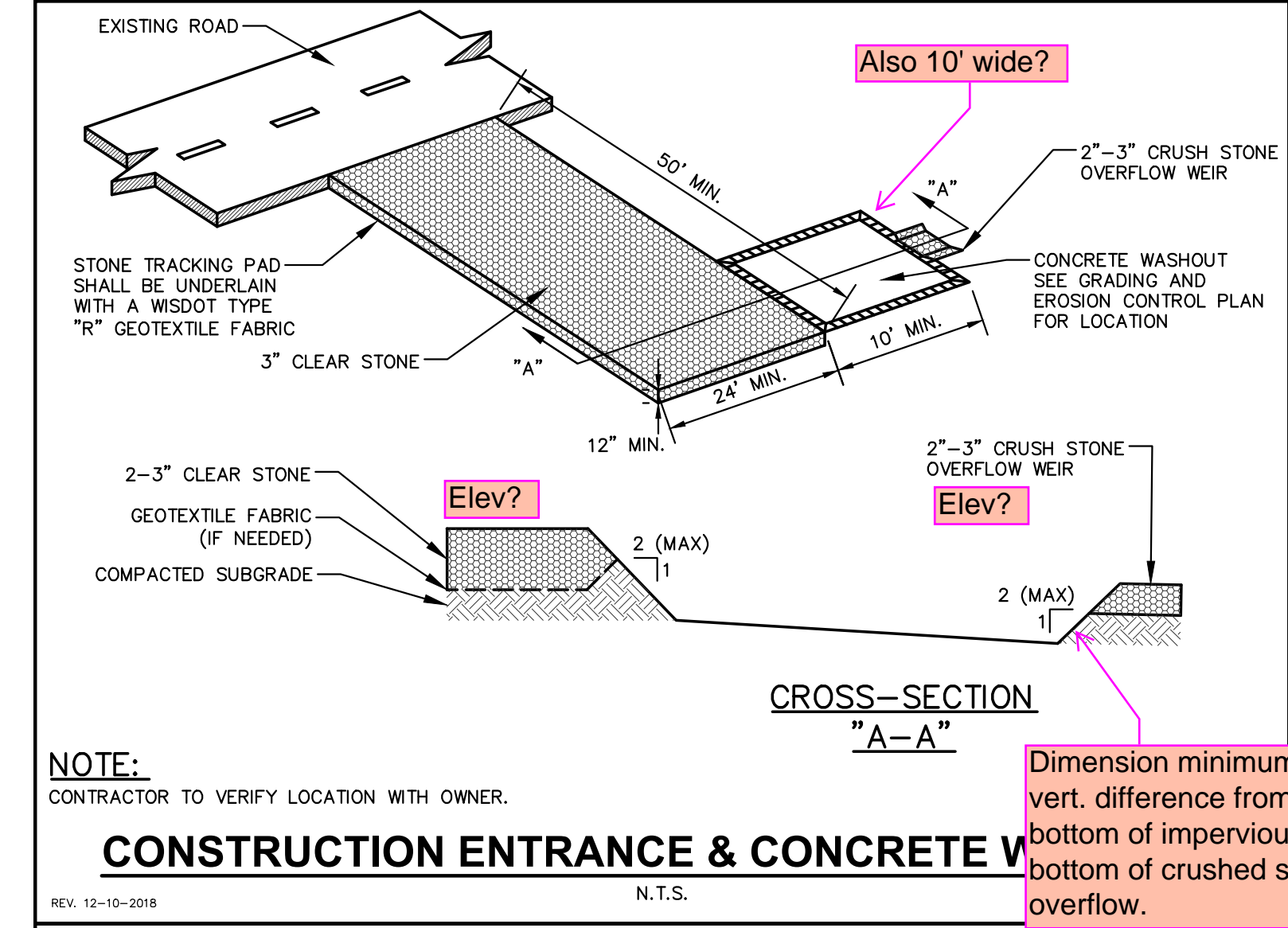
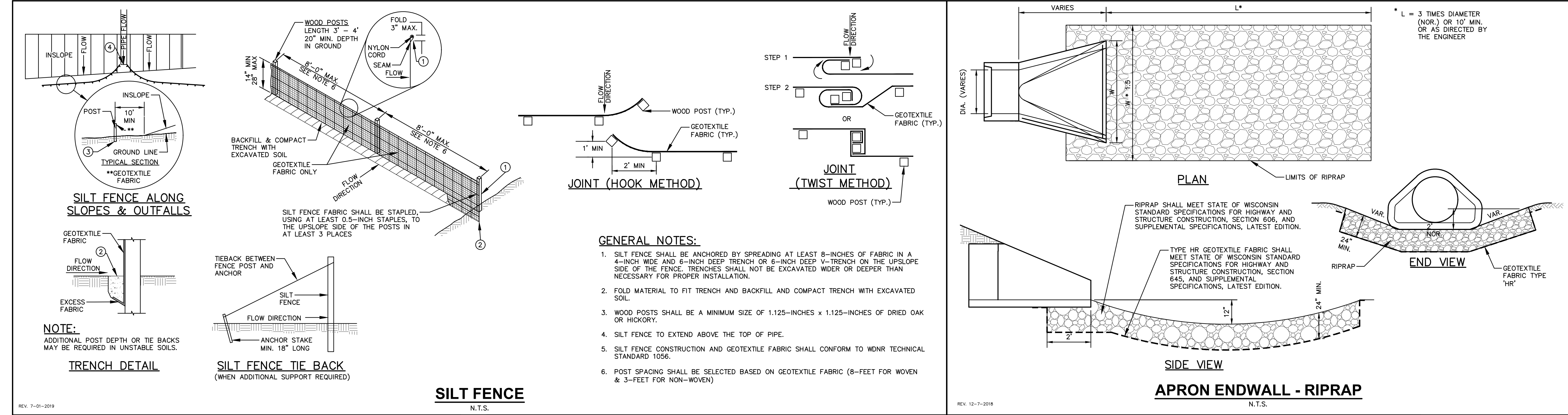
Designed By: APM
Reviewed By: ACG
Approved By: ACG

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:

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JSD PROJECT NO: 24-14288



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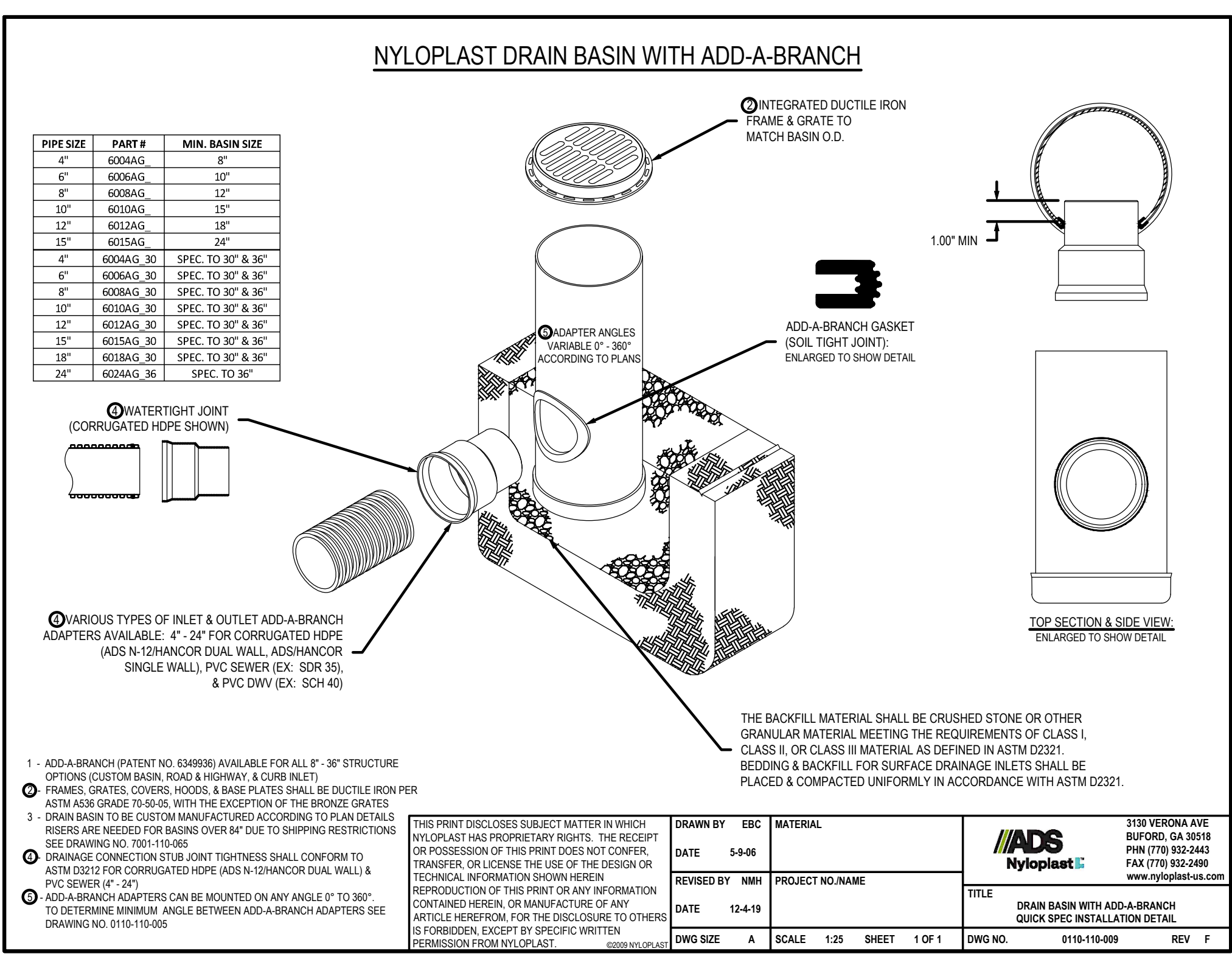
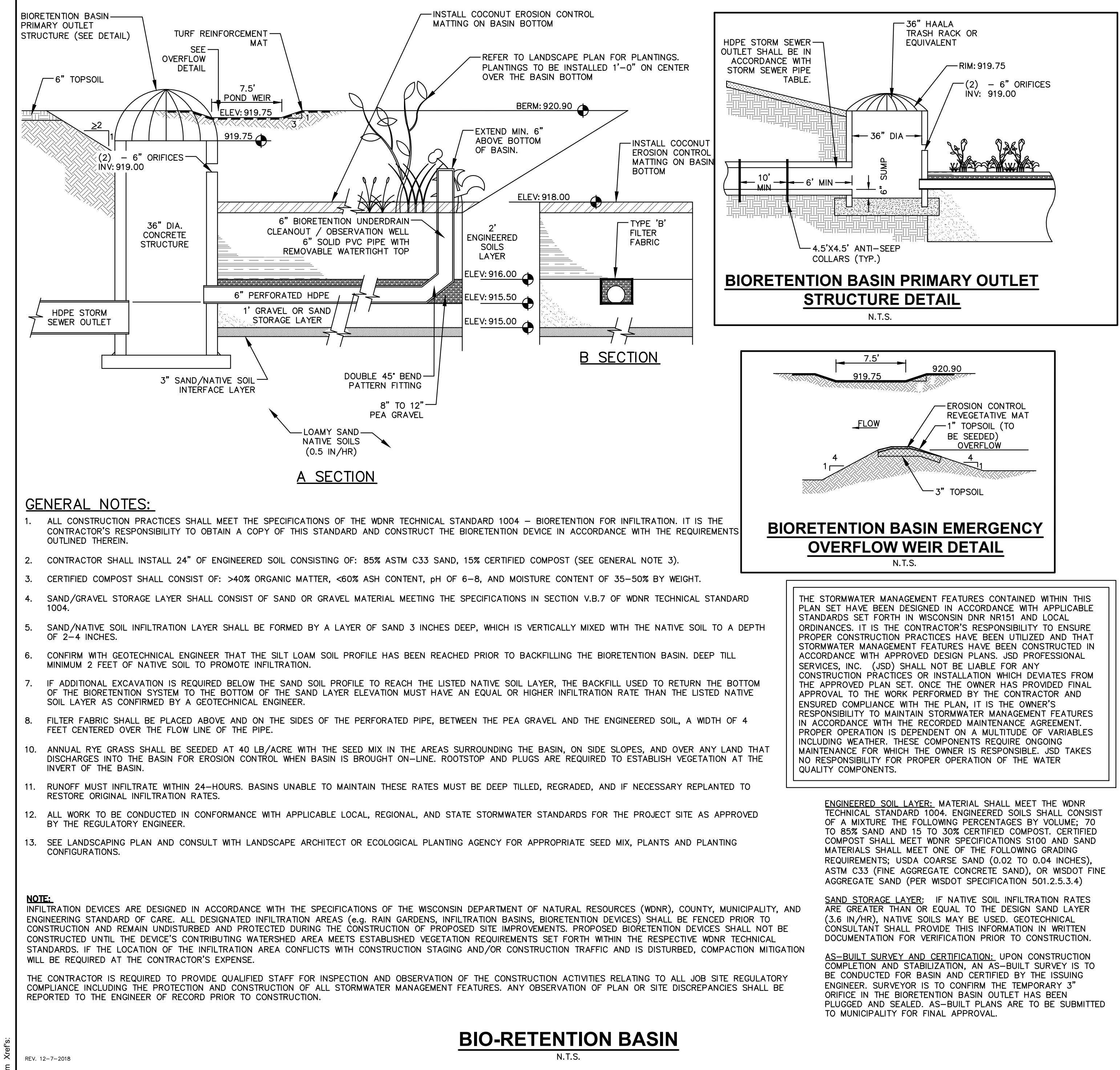
Designed By: **APM**
Reviewed By: **ACG**
Approved By: **ACG**

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CONSTRUCTION DETAILS

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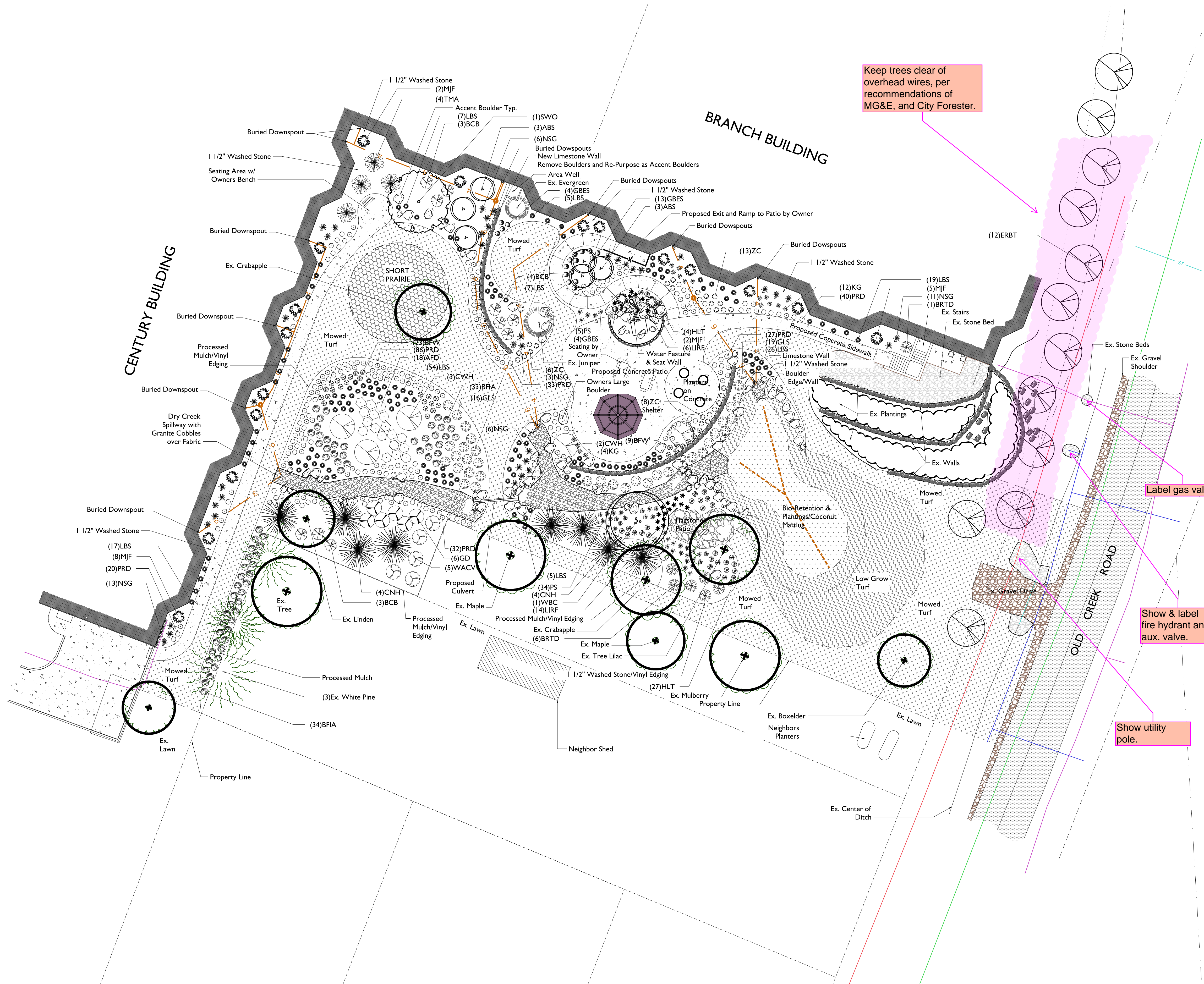
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JSD PROJECT NO: 24-14288

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Plant Material List			
Broadleaf Deciduous			
Quantity	Code Name	Common Name	Scientific Name
6	ABS	Autumn Brill Serviceberry	Amelanchier X Grand 'autumn Brill'
1	WBC	Whitespire Gray Birch (dp)	Betula Populifolia 'whitespire' (dp)
12	ERBT	Eastern Redbud (df)	Cercis Canadensis (df)
1	SWO	Swamp White Oak	Quercus Bicolor
Conifer Evergreen			
Quantity	Code Name	Common Name	Scientific Name
19	MJF	Golden Mop Tilia Japanese False	Chamaecyparis Pisi 'golden Mop'
4	TMA	Techy Arborvitae	Thuja Occidentalis 'techy'
8	CNH	Canadian Hemlock	Tsuga Canadensis
Perennial			
Quantity	Code Name	Common Name	Scientific Name
32	BFV	Butterfly Weed	Asclepias Tuberosa
20	LRF	Lady In Red Fern	Athyrium Felix-Femina 'lady In Red'
67	BFIA	Blue False Indigo	Baptisia Australis
39	PS	Pennsylvania Sedge	Carex Pensylvanica
31	HLT	Hot Lips Turtlehead	Chelone Lyoni 'hot Lips'
27	ZC	Zagreb Coreopsis	Coreopsis Verticillata 'zagreb'
16	KG	Kobold Gayfeather	Liatris Spicata 'kobold'
39	NSG	Northwind Switch Grass	Panicum Virgatum 'northwind'
21	GBES	Goldsturm Black-Eyed Susan	Rudbeckia Ful Var Sullivan 'goldsturm'
153	LBS	Little Bluestem	Schizachyrium Scoparium
239	PRD	Prairie Dropseed	Sporobolus Heterolepis
Shrub			
Quantity	Code Name	Common Name	Scientific Name
10	BCB	Brilliant Red Chokeberry	Aronia Arbutifolia 'brilliantissima'
7	BRTD	Bailey Red Twigg Dogwood	Cornus Bailey
6	GD	Gray Dogwood	Cornus Racemosa
18	AFD	Arctic Fire Dogwood	Cornus Stolonifera 'arctic Fire'
5	CWH	Common Witchhazel	Hamamelis Virginiana
35	GLS	Gro-Low Fragrant Sumac	Rhus Aromatica 'gro-Low'
5	WACV	Wentworth Amer Crmby Viburnum	Viburnum Trilobum 'wentworth'

BIO-RETENTION / INFILTRATION DEVICE PLANT LIST				
Quantity	Common Name	Scientific Name	Planting Size	Plant Spacing
(Total Basin Area = 1,531 SF)				
(Planting schedule based on 12" on center spacing)				
GRASSES AND SEDGES				
224	VIRGINIA WILD RYE	ELYMUS VIRGINICUS	2.5" POT	12" O.C. Rect. Spacing
224	SWITCH GRASS	PANICUM VIRGATUM	2.5" POT	12" O.C. Rect. Spacing
224	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	2.5" POT	12" O.C. Rect. Spacing
224	INDIAN GRASS	SORBASTRUM NUTANS	2.5" POT	12" O.C. Rect. Spacing
FORBS				
64	NEW ENGLAND ASTER	ASTER NOVAE-ANGLIAE	2.5" POT	12" O.C. Rect. Spacing
96	PURPLE CONEFLOWER	ECHINACEA PURPUREA	2.5" POT	12" O.C. Rect. Spacing
64	FALSE SUNFLOWER	HELIOPSIS HELIANTHODIES	2.5" POT	12" O.C. Rect. Spacing
96	WILD IRIS	IRIS VIRGINIANA SHRUB	2.5" POT	12" O.C. Rect. Spacing
64	CARDINAL FLOWER	LOBELIA CARDINALIS	2.5" POT	12" O.C. Rect. Spacing
64	BERGAMOT	MONARDA FISTULOSA	2.5" POT	12" O.C. Rect. Spacing
96	SWEET BLACK-EYED SUSAN	RUDBECKIA SUBTOMENTOSA	2.5" POT	12" O.C. Rect. Spacing
64	STIFF GOLDENROD	SOLIDAGO RIGIDA	2.5" POT	12" O.C. Rect. Spacing

20.06 DAMAGE TO TREES AND SHRUBS. (1) No person shall, in any public area or private area without the permission of the owner, break, injure, mutilate, kill or destroy any tree or shrub, permit any animal under his or her control to do so, permit any fire to injure any portion of any tree or shrub, permit any leak to exist in any gas line within the root zone of any tree or shrub, permit any toxic chemical to seep, drain, or be emptied on or about any tree or shrub, or permit electric wires to come into contact with any tree or shrub. During construction operations, each contractor or builder shall erect suitable protective barriers around public trees and shrubs which could be injured during construction, and shall obtain the City Forester's approval of the adequacy of such barriers before construction is commenced. No person shall fasten any sign, rope, wire or other material to or around or through any public tree or shrub without first obtaining permission from the City Forester. No person shall remove any guard, stake or other device or material intended for the protection of a public tree or shrub, or close or obstruct any open space about the base of a public tree or shrub designed to permit access of air, water, and fertilizer. No person shall attach any sign, poster, notice or other object on any tree, or fasten any guy wire, cable, rope, nails, screws or other device to any tree; except that the City may tie temporary no parking signs to trees when necessary in conjunction with street improvement work or parades.

(2) Protection During Excavations. All trees on any terrace/median or other public owned property near any excavation or construction of any building structure or street work shall be sufficiently guarded and protected by those responsible for such work as to prevent any injury to said trees. No person shall excavate any ditches, tunnels or trenches, or install pavement within a radius of ten (10) feet from any public tree without a permit from the City Forester. During construction operations, each contractor or builder shall erect suitable protective barriers around public trees and shrubs which could be injured during construction, and shall obtain the City Forester's approval of the adequacy of such barriers before construction is commenced.

LANDSCAPE ARCHITECTS
LANDSCAPE CONTRACTORS
2830 PARKER STREET
P.O. BOX 620330
MIDDLETON, WI 53562-0330
TEL (608) 836-7041
FAX (608) 831-6066

MIDDLETON GLEN
6720 CENTURY AVENUE
MIDDLETON, WISCONSIN 53562

Checked By: RM
Drawn By: 6/10/24 RS

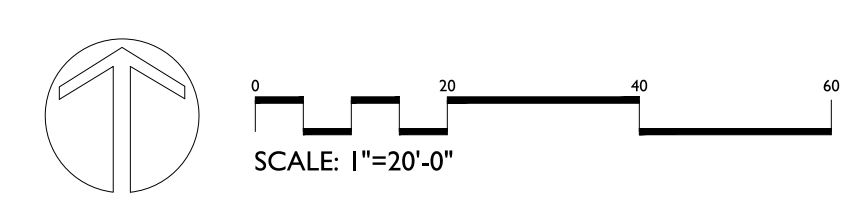
Revised:
Revised:
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L100

This plan made exclusively for the party named in the title block. It remains the property of The Bruce Company of Wisconsin, Inc. and may not be reproduced or implemented in whole or part by any method without prior written consent of The Bruce Company of Wisconsin, Inc.

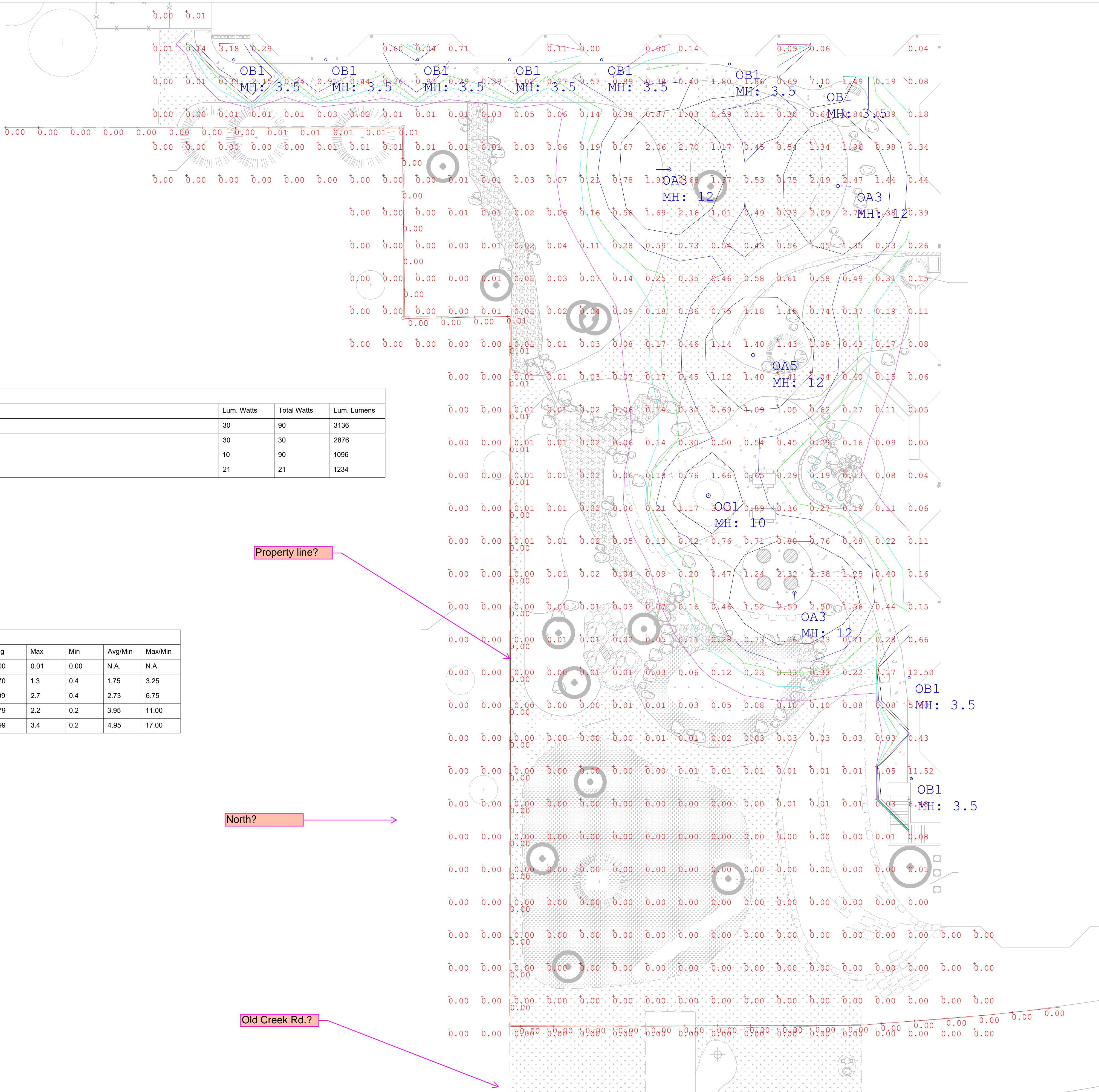
13/2023 CADREDD/MIDDLETON GLEN/CADREDD/MIDDLETON GLEN 24x12 DWG Created 6/6/2024, Saved 6/10/2024, Printed 6/10/2024


LANDSCAPE PLAN



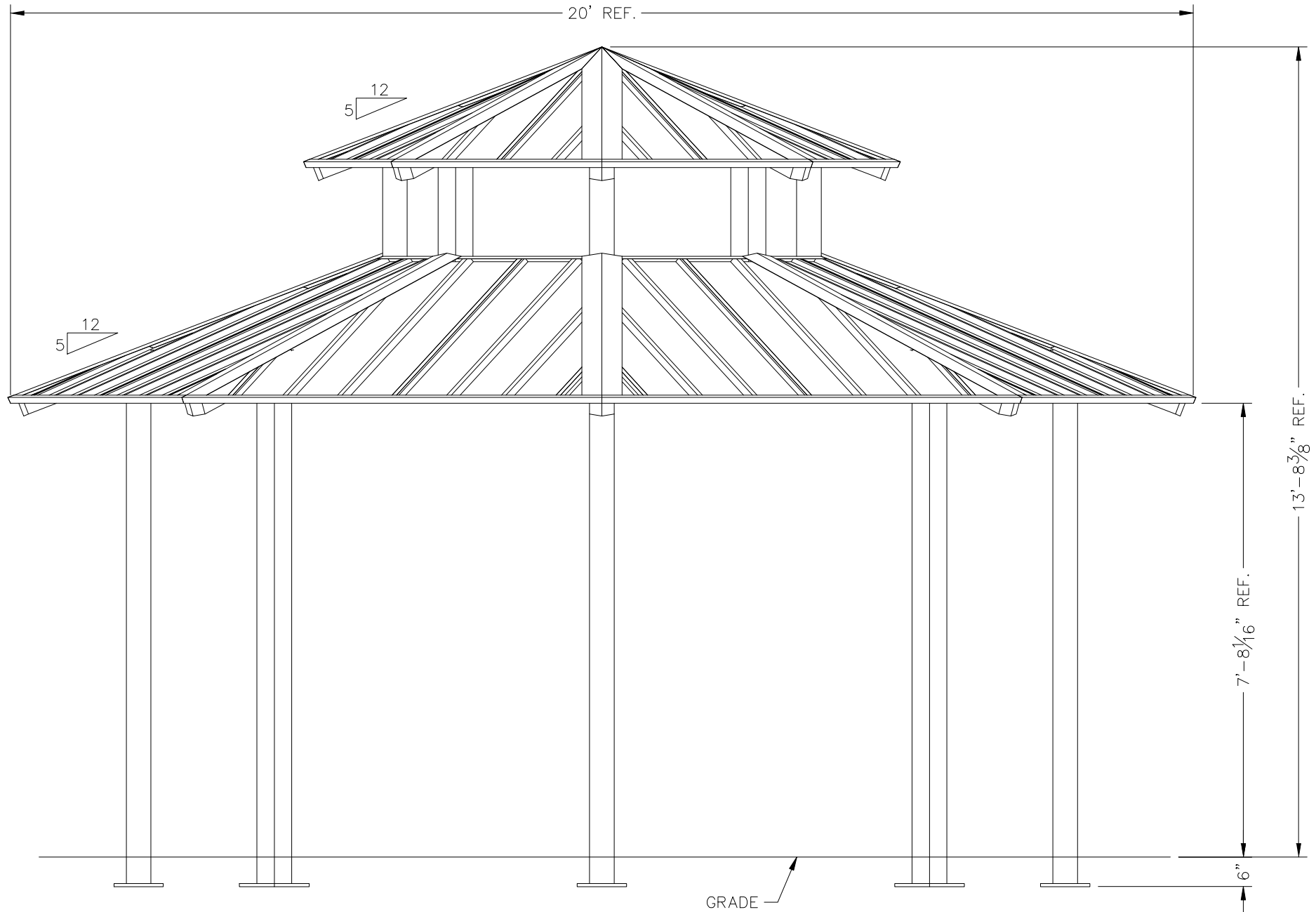
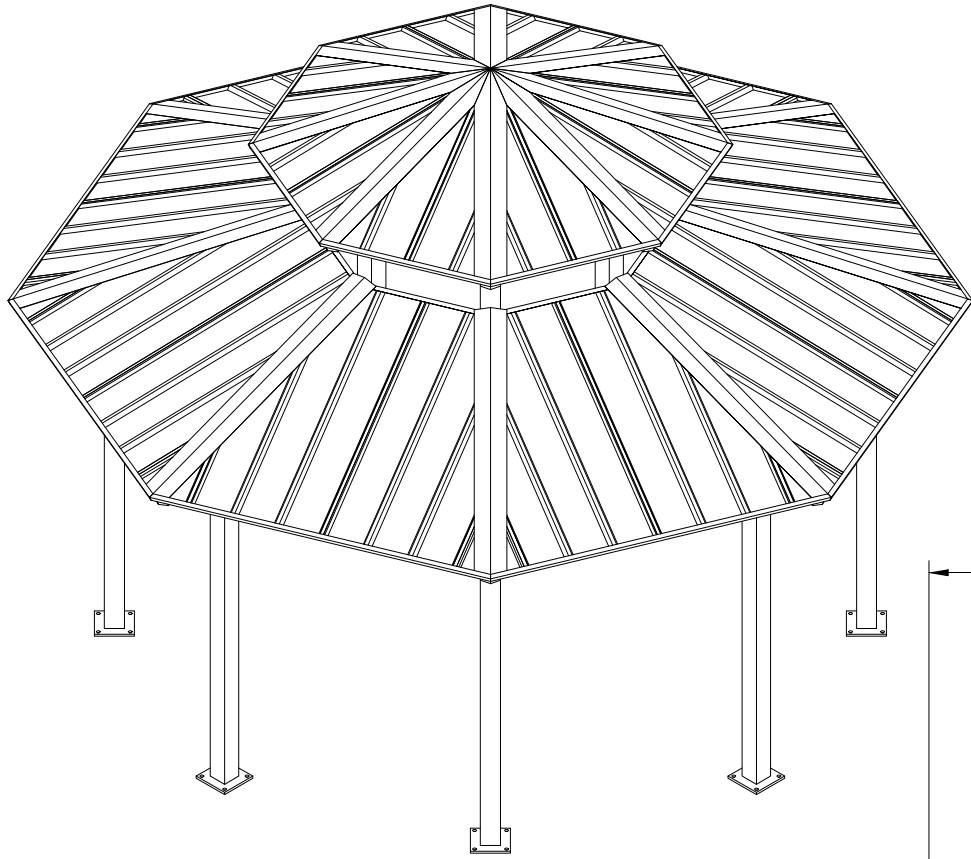
Luminaire Schedule						
Qty	Label	LLF	MFG	Description	Lum. Watts	Total Watts
3	OA3	0.950	ANP	SLP34-E030LDS-T3-30K-SGL-12-xx	30	90
1	OA5	0.950	ANP	SLP34-E030LDS-T5-30K-SGL-12-xx	30	30
9	OB1	0.950	ANP	BL0131-A010LD2-T1-30K	10	90
1	OC1	0.950	KUZCO	EC44509-BK	21	21

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Presumed Property Line	Illuminance	Fc	0.00	0.01	0.00	N.A.	N.A.
East Walkway	Illuminance	Fc	0.70	1.3	0.4	1.75	3.25
Green Space	Illuminance	Fc	1.09	2.7	0.4	2.73	6.75
North Walk	Illuminance	Fc	0.79	2.2	0.2	3.95	11.00
Shelter-Seating Area	Illuminance	Fc	0.99	3.4	0.2	4.95	17.00





COMMENTS				
REVISIONS				
#	DATE			
DRAWN BY : JT		DATE : APRIL 29 2024		
MIDDLETON GLEN		SCALE : 1/16" = 1'		
MIDDLETON, WISCONSIN				
COURTYARD LIGHTING LAYOUT				



PRELIMINARY: NOT FOR
CONSTRUCTION

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800.748.0985
616.396.0944 FX

Elevation

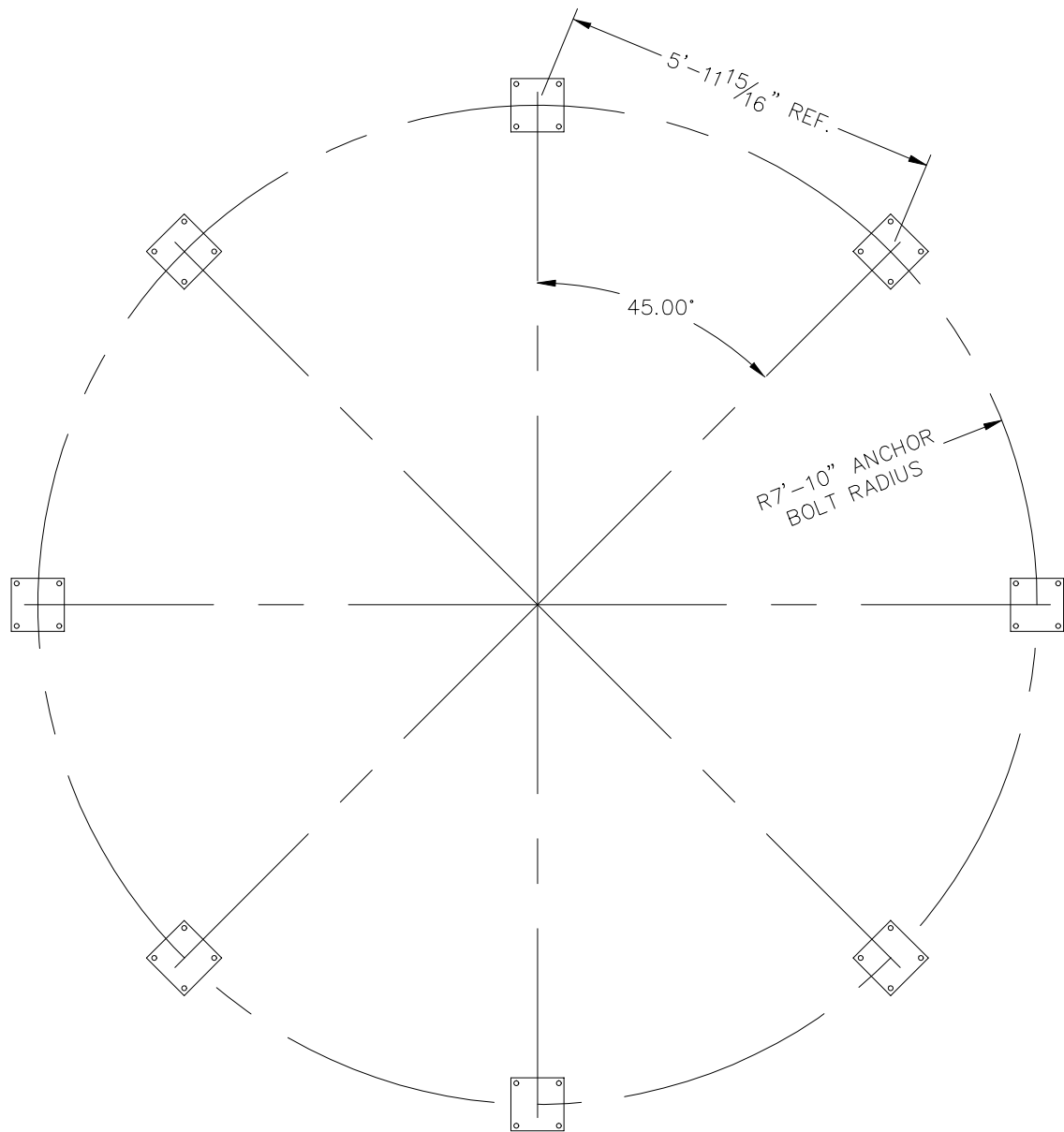
DRAWN BY:
ACP
DATE:
11/10/2020
PRELIMINARY ID:
66526
REVISION:
A
BUILDING TYPE:
OC20M2C-P5
PROJECT NAME:
CUSTOM OVERHANG

SHEET
10

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Engineering\AcadStandard\Blocks\Titles\CONPRET8
QF-73-01-42

DWG: Shelters\OC\20\M2C-P5-50-90-150\Drawings\Preliminary\OC20M2C-P5-50-90-150~66526.DWG



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Anchor Bolt Layout

PRELIMINARY DRAWINGS SHOWN AS 6" BURIED

STANDARD BASE CONNECTION

COLUMN TYPE: A (6" BURIED)

OPTIONAL BASE CONNECTION

COLUMN TYPE: B (SURFACE MOUNT W/ COVERS)

DRAWN BY:

ACP

DATE:

11/10/2020

PRELIMINARY ID:

66526

REVISION:

A

BUILDING TYPE:

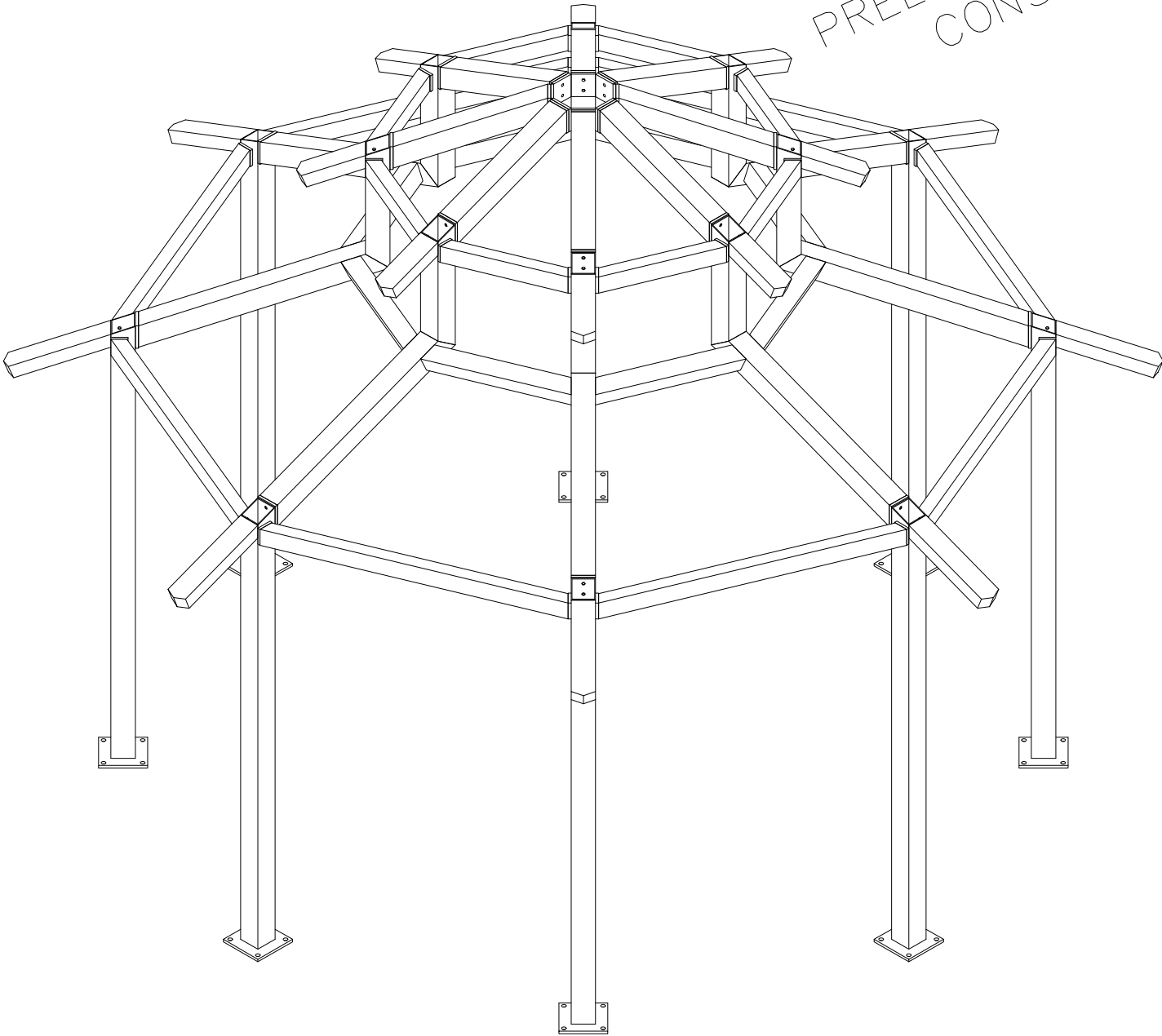
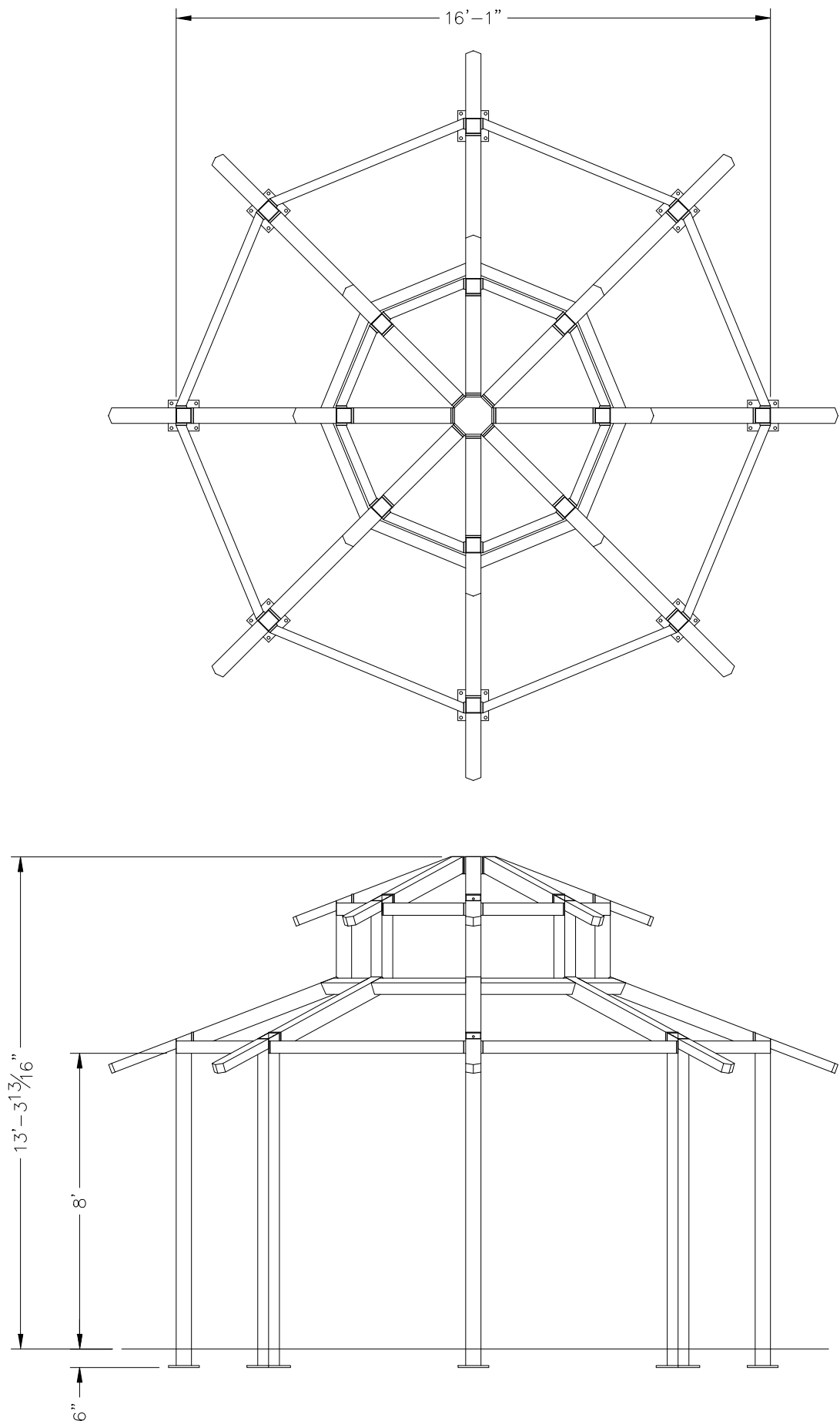
OC20M2C-P5

PROJECT NAME:

CUSTOM OVERHANG

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20



PRELIMINARY: NOT FOR
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ALL STRUCTURAL COMPONENTS WILL BE:
TUBE: ASTM A500 GRADE B
PLATE: ASTM A36
BOLTS: ASTM A325
NUTS: ASTM A563
WELDING: GMAW

NOTE:
COLUMN SIZE: HSS 5x5x3/16

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Frame

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11/10/2020
PRELIMINARY ID:
66526
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A
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PROJECT NAME:
CUSTOM OVERHANG

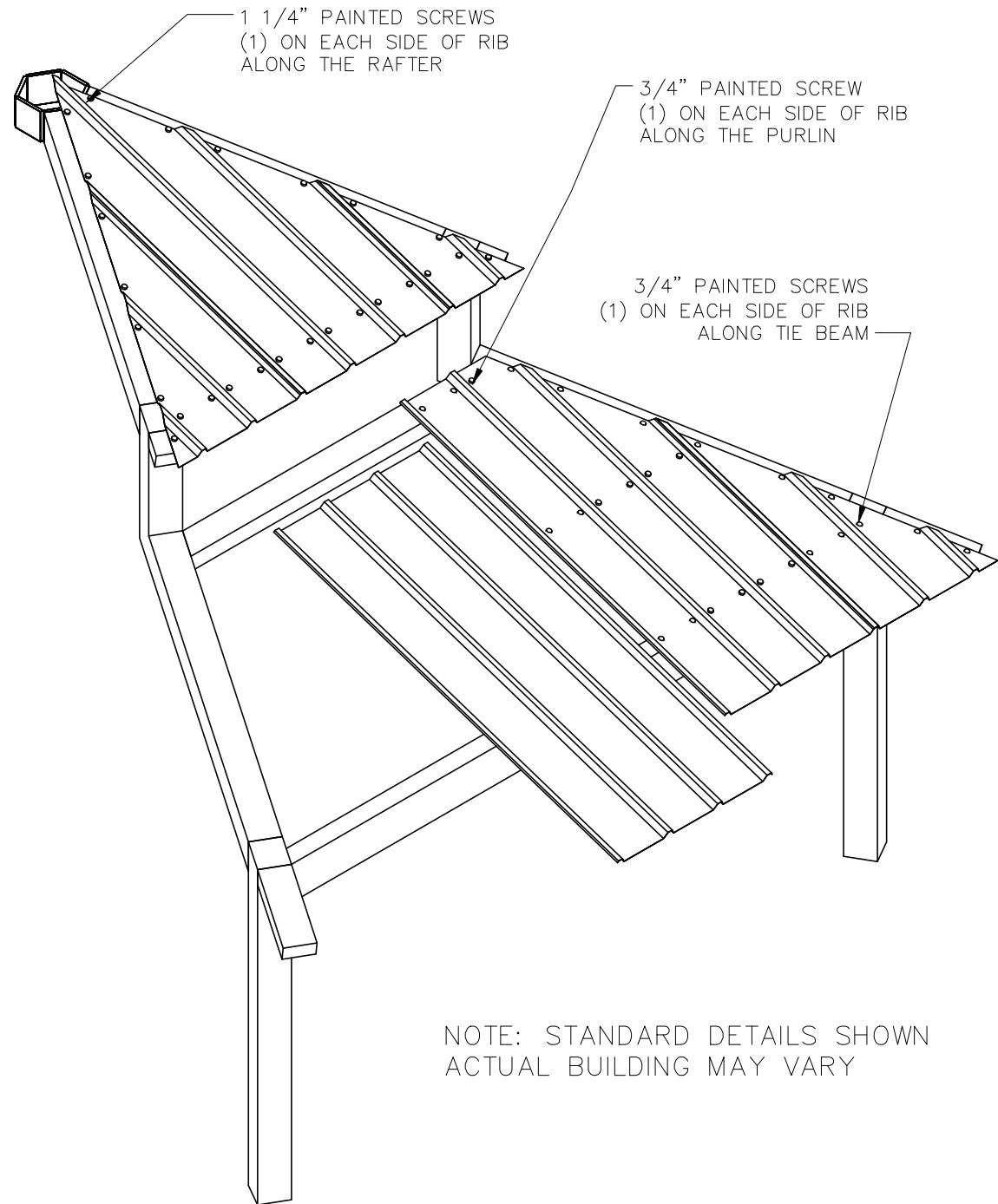
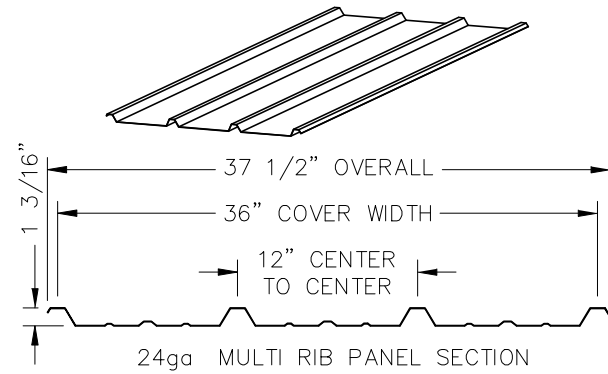
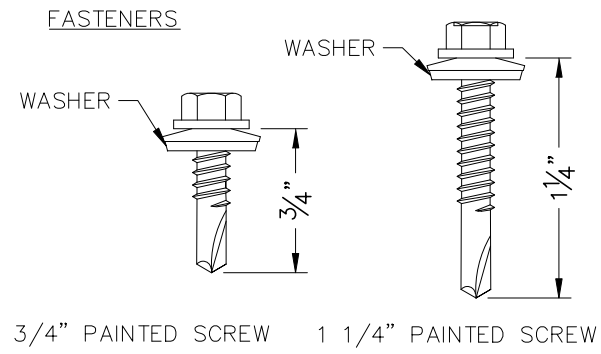
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30

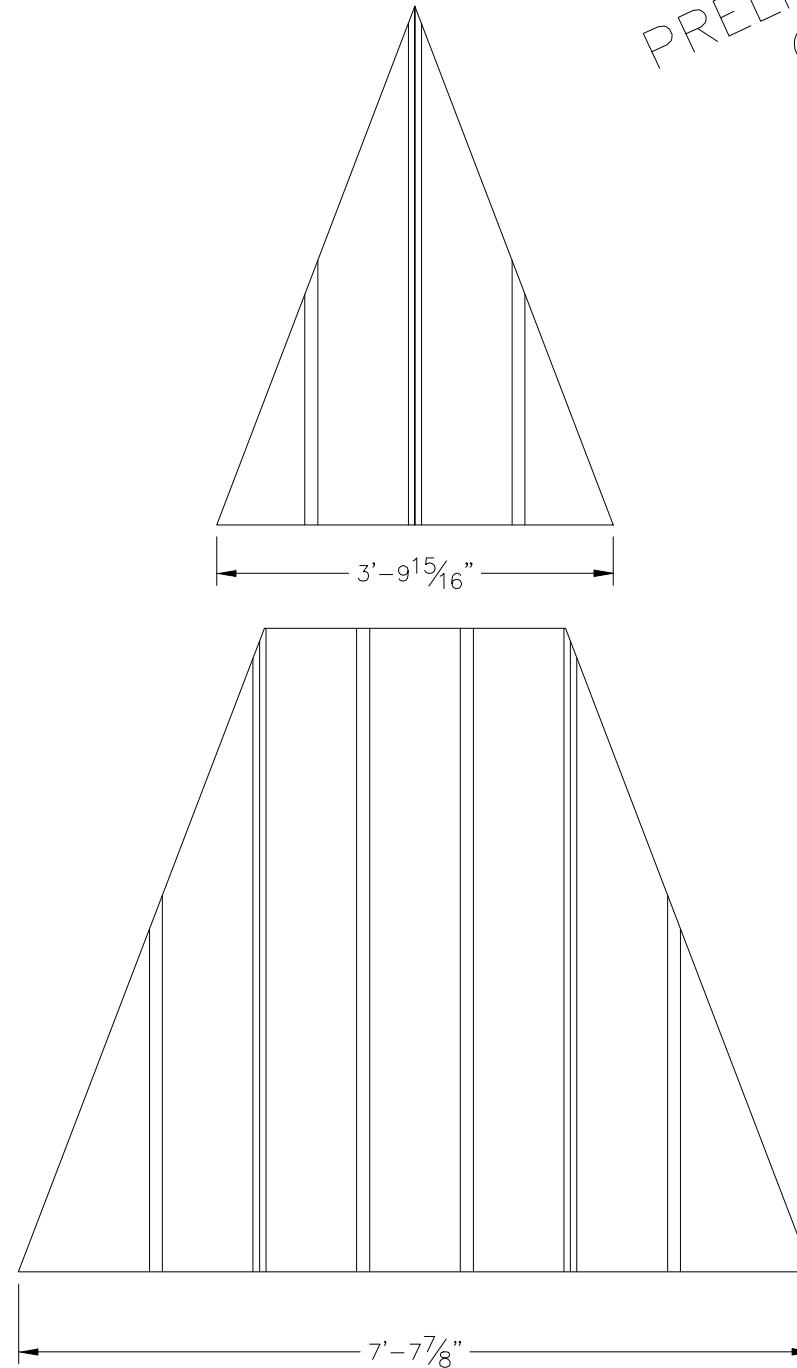
Page 17 of 82

Engineering\AcadStandard\Books\Titles\ICONPRETB
QF-73-01-42

DWG:Shelters\OC\20\M2C-P5-50-90-150\Drawings\Preliminary\OC20M2C-P5-50-90-150~66526.DWG



NOTE: STANDARD DETAILS SHOWN
ACTUAL BUILDING MAY VARY



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Roof Layout

DRAWN BY:

ACP

DATE:

11/10/2020

PRELIMINARY ID:

66526

REVISION:

A

BUILDING TYPE:

OC20M2C-P5

PROJECT NAME:

CUSTOM
OVERHANG

SHEET

40

ELECTRICAL INFORMATION - OCTAGON

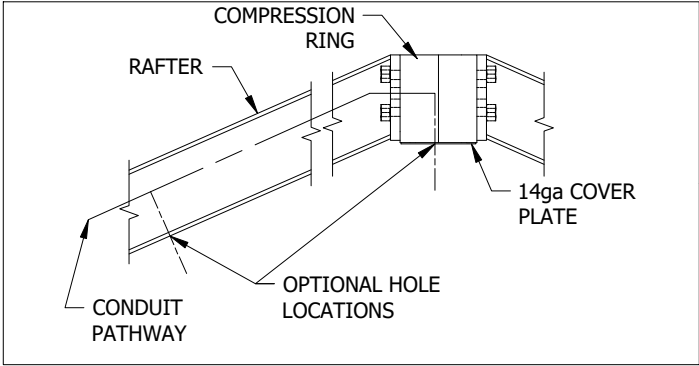
ICON'S STANDARD ELECTRICAL IS DESIGNED TO ACCOMMODATE Ø1/2" CONDUIT WITH A Ø3" INLET HOLE ON THE BOTTOM OF EACH COLUMN. THE CONDUIT PATHWAY RUNS THROUGH THE COLUMN, RAFTER, AND RIDGE BEAM THROUGH ALL BOLTED CONNECTIONS AS SHOWN. IF YOU HAVE SPECIAL ELECTRICAL REQUIREMENTS, PLEASE OUTLINE ANY CHANGES BELOW AS DESCRIBED.

PLEASE NOTE: DESIGN LIMITATIONS ON HOLE/CUTOUT SIZES MAY APPLY. ICON WILL REACH OUT TO DISCUSS ANY SUCH LIMITATIONS AS NEEDED.

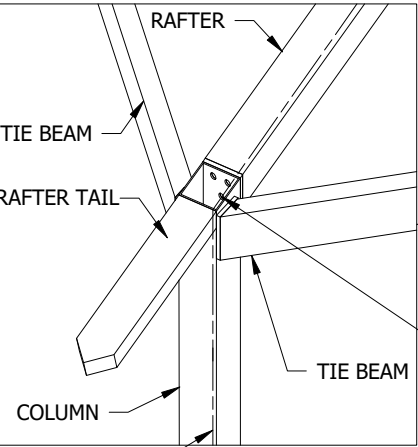
NOTE: ICON SHELTER FRAME IS NOT UL LISTED TO ACT AS A CONDUIT FOR ELECTRICAL WIRING. CONSULT LOCAL BUILDING CODES WHEN PLANNING YOUR ELECTRICAL SYSTEM.

OPTIONAL EXIT HOLES

IF REQUIRED, EXIT HOLES FOR LIGHTING, ETC. CAN BE PLACED IN THE RAFTER AND/OR COMPRESSION RING WITH 14ga COVER PLATE AS SHOWN (CHARGES APPLY) USE FRAME SHEET OF THIS PRELIMINARY TO SPECIFY REQUIRED EXIT HOLE LOCATIONS AND SIZE.



DETAIL B



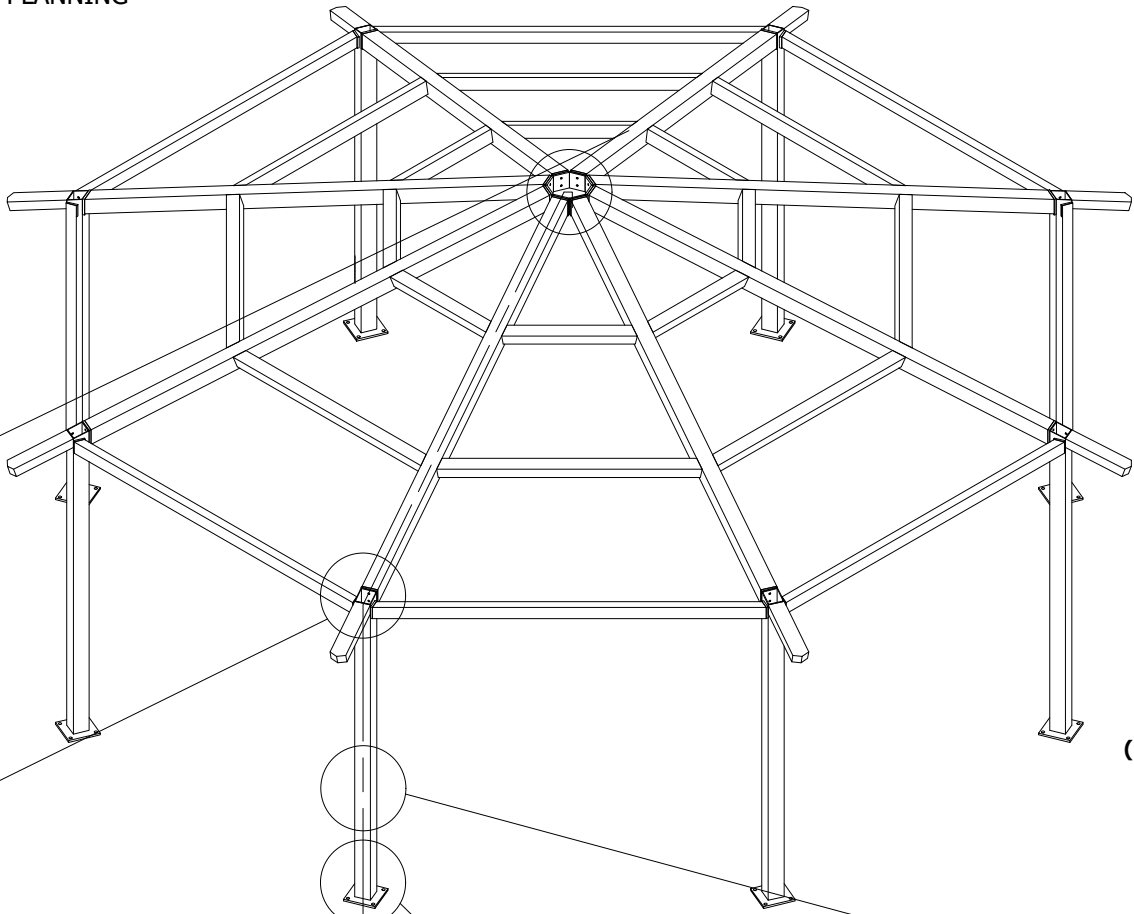
DETAIL A

ICON PROVIDES A MINIMUM OF (1) 3/4" HOLE AT EACH CONNECTION FOR 1/2" CONDUIT. IF APPLICABLE, PLEASE SPECIFY REQUIRED CONDUIT SIZE: (CHARGES APPLY)

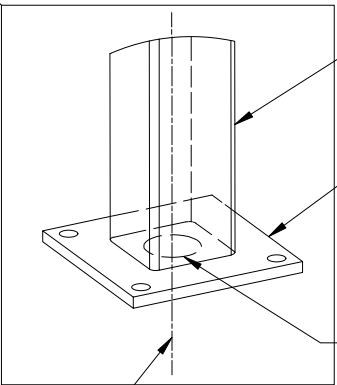
- ☐ 3/4" CONDUIT (1" HOLES)
- ☐ 1" CONDUIT (1 1/4" HOLES)
- ☐ OTHER (PLEASE SPECIFY)

NOTE: BUILDING DEPICTED ON THIS SHEET FOR ILLUSTRATION PURPOSES ONLY. ACTUAL LAYOUT AND FRAME MEMBER QUANTITIES VARY BY DESIGN. PLEASE REFER TO ELEVATION AND FRAME SHEETS IN THIS PRELIMINARY FOR ORDER-SPECIFIC CONFIGURATION.

PRELIMINARY: NOT FOR CONSTRUCTION



CONDUIT PATHWAY PROVIDED FOR EACH COLUMN.

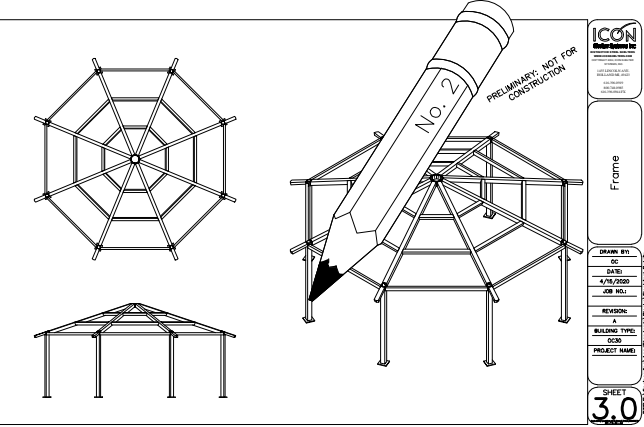


BASE DETAIL

CONDUIT (NOT BY ICON)

- STEPS:**
1. CONDUIT HOLE SIZE (DETAIL A)
 2. ELECTRICAL EXIT HOLES (DETAIL B)
 3. ELECTRICAL ACCESS & COVER PLATES (DETAIL C)
 4. ELECTRICAL CONDUIT PATHWAY (DETAIL D)

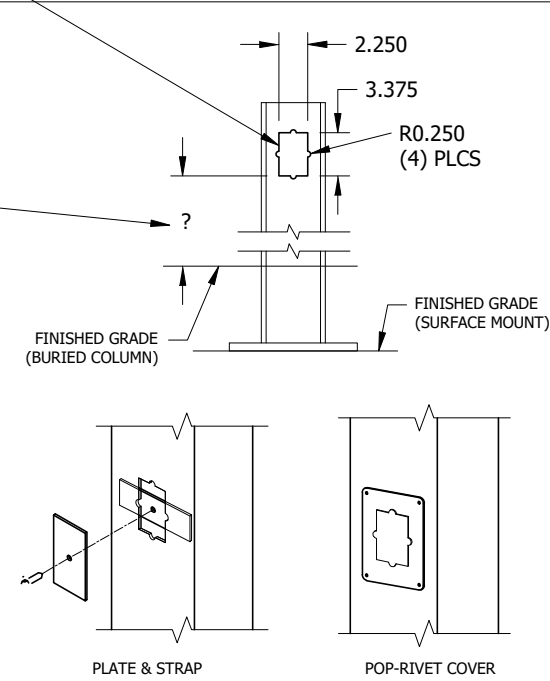
IF REQUIRED, PLEASE DRAW THE NECESSARY ELECTRICAL CONDUIT PATHWAY ON THE FRAME SHEET OF THIS PRELIMINARY.



DETAIL D

- (1) STANDARD CUTOUT SIZE SHOWN. SPECIFY IF OTHER SIZE REQUIRED.
- (2) CUTOUTS WILL BE ON INSIDE FACE OF COLUMN UNLESS OTHERWISE INDICATED ON FRAME SHEET.
- (3) SPECIFY HEIGHT ABOVE FINISHED GRADE FOR EACH CUTOUT AS SHOWN

OPTIONAL CUTOUTS
USE FRAME SHEET OF THIS PRELIMINARY TO SPECIFY REQUIRED CUTOUT LOCATIONS (CHARGES APPLY) SEE REQUIRED INFO BELOW



DETAIL C

(4) COVER PLATES PROVIDED UPON REQUEST (CHARGES APPLY)
PLEASE SPECIFY TYPE AND QUANTITY REQUIRED:

- ☐ PLATE & STRAP
 - ☐ POP-RIVET COVER PLATE
- HOW MANY REQUIRED? _____

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Electrical

DRAWN BY:

ACP

DATE:

11/10/2020

PRELIMINARY ID:

66526

REVISION:

A

BUILDING TYPE:

OC20M2C-P5

PROJECT NAME:

CUSTOM OVERHANG

SHEET

50

ICON Colors and Materials



Wood Frame and Roof Decking Finish Options

A high-quality, richly pigmented stain and sealer that provides long-lasting beauty and wood protection.



ICON's design inspired color and material choices create endless color combinations and possibilities. Our dedicated designers and engineers work with the best wood, steel and powder coat colors in the industry to bring your artistic dream to a reality.



Standard Steel Roof Colors

Kynar 500 coated roof panels with 24-gauge Galvalume substrate. The underside of the roofing material is a standard white wash color.

Powder Coat Colors

ICON carries over 19 powder coat colors to match any aesthetic. Our durable TGIC powder coat over a liquid epoxy primer on every steel member.

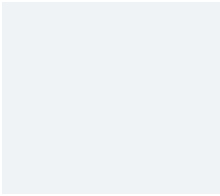



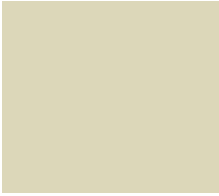







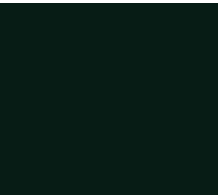

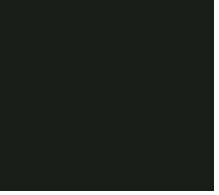













ICON
Shelter Systems Inc

1455 Lincoln Avenue
Holland, MI 49423
(800) 748-0985

info@iconshelters.com
www.iconshelters.com

Standard Steel Roof Colors

				
		Regal White	Bone White	Surrey Beige
				
Sandstone	Almond	Ash Gray	Slate Gray	Charcoal
				
Matte Black	Medium Bronze	Patina Green	Evergreen	Hartford Green
				
Mansard Brown	Dark Bronze	Patrician Bronze	Tudor Brown	Buckskin
				
Colonial Red	Brandywine	Brite Red	Terra Cotta	Casco Orange
				
Regal Blue	Roman Blue	Light Stone		

ROOF

*actual colors may vary from physical samples
 *physical samples are available upon request

Standard Steel Roof Colors- Metallics



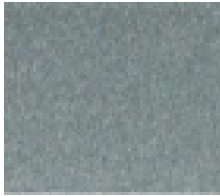
Pewweathered
Galvalume



Texas Silver
Metallic



Champagne
Metallic



Silver
Metallic



Galvalume
Plus



Copper Penny
Metallic

Powder Coat Colors



RAL 3009
Oxide Red



RAL 5001
Green Blue



RAL 5005
Signal Blue



RAL 6000
Patina Green



RAL 6005
Moss Green



RAL 6026
Opal Green



RAL 6028
Pine Green



RAL 7012
Basalt Grey



RAL 7044
Silk Grey



RAL 8017
Chocolate Brown



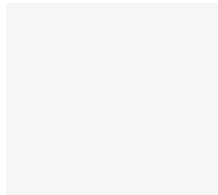
RAL 8019
Grey Brown



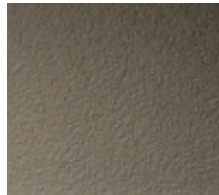
RAL 9005 w/ Clear
Jet Black (Glossy)



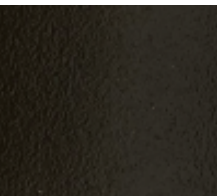
RAL 005
Jet Black (Matte)



RAL 9016
Traffic White



Brown Texture
PCT29118



Bronze Texture
PCT29101

*actual colors may vary from physical samples

*physical samples are available upon request

SPECIAL WARRANTY DEED

Senior Housing of Middleton, Inc., a Wisconsin non-profit corporation, Grantor, in consideration of One Dollar and No/100ths (\$1.00) and other good and valuable consideration, receipt of which is hereby acknowledged, conveys to Tom Washa and Maggie Washa, husband and wife, together Grantee, the following described real estate in Dane County, Wisconsin, to-wit:

The property described in Exhibit "A" hereto attached ("Property");

provided, however, that in the event Grantee fails to comply with paragraph 3 of the Declaration of Restrictive Covenants and Conditions, filed in Dane County, Wisconsin on the 20 day of September, 2002, which paragraph relates to Grantee's failure to pay any lien upon the property owed to Grantor, its successors and assigns, as more specifically described therein, then Grantor retains a right of reentry on the Property to be restored to fee simple title owner of the Property. *

Grantor covenants with the Grantee that Grantor:

* Document No. 3551473

- (1) is lawfully seised of the Property and that it is free from encumbrances except easements, restrictions, and covenants of record;
- (2) has the legal power and lawful authority to convey the Property;
- (3) warrants and will defend the title to the Property against all persons claiming by, through or under the Grantor or its heirs, successors or assigns.

DATED this 6th day of September, 2002.

Senior Housing of Middleton, Inc., a Wisconsin non-profit corporation, Grantor

By:
Its:

Charles E. Possin
President/CEO

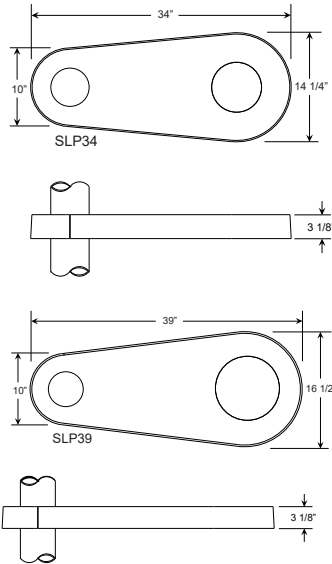
STATE OF WISCONSIN)
) ss.
COUNTY OF DANE)

The foregoing instrument was acknowledged before me on the 6 day of September, 2002, by Charles E. Possin, to me known to be the President/CEO of Senior Housing of Middleton, Inc., a Wisconsin non-profit corporation on behalf of and as the voluntary act and deed of the Senior Housing of Middleton, Inc.

Rose M. Brewer
Notary Public

My commission expires: 11-14-04

Please return to when recorded:
Howard Fredrick Hahn
2120 S. 72nd Street, #800
Omaha, NE 68124



Project: _____

Fixture Type: _____ Quantity: _____

Customer: _____

Specifications**Material:**

All parts are durable 356 cast aluminum and heavy duty spun aluminum.

All hardware provided shall be stainless steel or zinc plated steel.

Fixture Mounting:**Post Top:** Patent-pending clamping system enables fixtures to be mounted to pole with no visible hardware.**Drivers:**

Universal voltage 120-277V is standard. 0-10V dimming to 10% is standard for Light Guide LED.

See pages 2-4 tables for more LED engine and driver specifications.

**Electrical:**

20KA max/10KA nominal surge protection device is standard.

Connections to power and dimming leads are inside luminaire head. Optional terminal block.

Finish:

A polyester powder coat high quality finish.

Marine grade finish is available.

Modifications:

Consult factory for custom or modified designs

Catalog Logic**SLP39, CPL120W48, T5, 40K, SGL, 13-90, 5, PC, 72**

Fixture Size	Light Source	Optics	CCT	Mounting Option	Height & Orientation	Pole Diameter	Accessory	Finish
--------------	--------------	--------	-----	-----------------	----------------------	---------------	-----------	--------

Weight: SLP34 27.0 lbs
 SLP39 35.0 lbs

EPA: SLP34 0.71
 SLP39 0.80

SLP34 / SLP39

Siteline Pole Mount

Catalog Number	1	2/3	4	5	6	7	8	9	10
Fixture #1									
Fixture #2									
Fixture #3									
Pole Part Number	1	2	3	4					

[BOLT DOWN ROUND POLE SPEC SHEET](#)

1	FIXTURE SIZE	
SLP34	(34" X 14 1/4" X 3 1/8")	
SLP39	(39" X 16 1/2" X 3 1/8")	
2	LIGHT SOURCE SLP34	
Performance Platform		Edge Lit Comfort Optic
CPS30W18	(30W Ceramic LED)	E030LDS (30W Light Guide LED)
CPS39W18	(39W Platform LED/ CA Title 24)	E039LDS (39W Light Guide LED/ CA Title 24)
CPS46W18	(46W Ceramic LED)	E050LDS (50W Light Guide LED)
CPM78W30	(78W Ceramic LED)	E065LDS (65W Light Guide LED)
CPM90W36	(90W Ceramic LED)	E080LDS (80W Light Guide LED)
3	LIGHT SOURCE SLP39	
Performance Platform		Edge Lit Comfort Optic
CPM78W30	(78W Ceramic LED)	E060LDL (60W Light Guide LED)
CPM90W36	(90W Ceramic LED)	E075LDL (75W Light Guide LED)
CPL120W48	(120W Ceramic LED)	E080LDL (80W Light Guide LED)
		E090LDL (90W Light Guide LED)
		E105LDL (105W Light Guide LED)
4	OPTICS	
T2 (Type II)*		
T3 (Type III)		
T4 (Type IV)		
T5 (Type V)		
*Small Light guide panel Type 2 distribution is limited to 50W of Power (See LED Performance Chart)		
*Large Light Guide Panel Type 2 distribution is limited to 75W of power (See LED Performance Chart)		
5	COLOR TEMPERATURE (CCT)	
27K (2700K)		
30K (3000K)		
35K (3500K)		
40K (4000K)		
6	MOUNTING OPTION	
SGL (Single Fixture)		
BTB (Back to Back Adapter; Twin 180° Back to Back)		
7	HEIGHT & ORIENTATION	
X' - X (Mounting Height - Orientation to Hand Hole)		
Examples:		
13-0 (13' Mounting Height, 0° to Handhole)		
13-90 (13' Mounting Height, 90° to Handhole)		
13-180 (13' Mounting Height, 180° to Handhole)		
13-270 (13' Mounting Height, 270° to Handhole)		
N/A Pole By Others		
* Order pole 1' longer than highest fixture mounting height to result in 9" of pole above luminarire top (see detail drawing).		
BOLT DOWN ROUND POLE SPEC SHEET		
8	POLE DIAMETER	
4 (4" Pole; Not available for SLP39)		
5 (5" Pole)		
6 (6" Pole)		

Project: _____

Fixture Type: _____ Quantity: _____

Customer: _____

9	ACCESSORIES
HSS150-1	(150° House Side Shield)
HLMSPC-FM	(Integral high-low motion sensor plus photocell) See page 4 for specifications.
HLMSPC-06	(High-Low Motion Sensor/Photocell; 15' - 30' Sensor Mounting Height)
HLMSPC-10	(High-Low Motion Sensor/Photocell; 8' - 15' Sensor Mounting Height)
PC	(Button Photo Cell)
TLPC	(Twist Lock photo cell & receptacle)
TL5	(5-pin Twist Lock receptacle only)
TL7	(7-pin Twist Lock receptacle only)

10	FINISHES								
*Premium and Marine Grade Finish have additional charges									
Standard Colors	Standard Grade	Marine Grade*	Standard Colors	Standard Grade	Marine Grade*	Standard Colors	Standard Grade	Marine Grade*	
Aspen Green	10	10M	Bright Blue	45	45M	Painted Chrome	70	70M	
Cantaloupe	11	11M	Sunny Yellow	46	46M	Painted Copper	71	71M	
Lilac	12	12M	Aqua Green	47	47M	Textured Black	72	72M	
Putty	13	13M	Galvanized	49	NA	Matte Black	73	73M	
Raw Unfinished	40	NA	Navy	50	50M	Textured Architectur-	76	76M	
Black	41	41M	Architectural Bronze	51	51M	Textured White	77	77M	
Forest Green	42	42M	Patina Verde	52	52M	Textured Silver	78	78M	
Bright Red	43	43M	Copper Clay	53	53M	PREMIUM		Marine Grade*	
White	44	44M	Silver	56	56M	Carbon Graphite	96	96M	
*Consult Factory for additional paint charges and availability.									

LED PERFORMANCE

CERAMIC PLATFORM

System Wattage (Nominal)	CCT	CRI	Type II					Type III					Type IV					Type V				
			Delivered Lumens	Lumens Per Watt	B	U	G	Delivered Lumens	Lumens Per Watt	B	U	G	Delivered Lumens	Lumens Per Watt	B	U	G	Delivered Lumens	Lumens Per Watt	B	U	G
30W	2700K	70	4373	146	1	0	1	4265	142	1	0	1	4493	150	1	0	1	4463	149	3	0	1
	3000K	70	4551	152	1	0	1	4439	148	1	0	1	4676	156	1	0	1	4646	155	3	0	1
	3500K	70	4586	153	1	0	1	4473	149	1	0	1	4712	157	1	0	1	4681	156	3	0	1
	4000K	70	4668	156	1	0	1	4553	152	1	0	1	4796	160	1	0	1	4765	159	3	0	1
39W	2700K	70	5681	146	2	0	2	5539	142	2	0	2	5753	150	2	0	2	5733	149	3	0	2
	3000K	70	5913	152	2	0	2	5764	148	2	0	2	5988	156	2	0	2	5967	155	3	0	2
	3500K	70	5958	153	2	0	2	5808	149	2	0	2	6033	157	2	0	2	6012	156	3	0	2
	4000K	70	6065	156	2	0	2	5913	152	2	0	2	6142	160	2	0	2	6120	159	3	0	2
46W	2700K	70	6701	146	2	0	2	6533	142	2	0	2	6786	150	2	0	2	6762	149	3	0	2
	3000K	70	6974	152	2	0	2	6799	148	2	0	2	7063	156	2	0	2	7038	155	3	0	2
	3500K	70	7027	153	2	0	2	6851	149	2	0	2	7116	157	2	0	2	7091	156	3	0	2
	4000K	70	7153	156	2	0	2	6974	152	2	0	2	7244	160	2	0	2	7219	159	3	0	2
78W	2700K	70	10678	138	2	0	2	10563	138	2	0	2	11246	144	2	0	2	11138	145	4	0	2
	3000K	70	11114	144	2	0	2	10994	143	2	0	2	11705	150	2	0	2	11593	151	4	0	2
	3500K	70	11198	145	2	0	2	11077	144	2	0	2	11793	151	2	0	2	11680	152	4	0	2
	4000K	70	11399	148	2	0	2	11276	147	2	0	2	12005	154	2	0	2	11890	155	4	0	2
90W	2700K	70	12728	137	3	0	3	12590	135	3	0	3	13404	144	3	0	3	13276	143	3	0	3
	3000K	70	13247	142	3	0	3	13104	141	3	0	3	13951	150	3	0	3	13818	148	4	0	2
	3500K	70	13347	143	3	0	3	13203	142	3	0	3	14057	151	3	0	3	13922	150	4	0	2
	4000K	70	13587	146	3	0	3	13440	144	3	0	3	14309	154	3	0	3	14172	152	4	0	2
120W	2700K	70	16637	137	3	0	3	16211	134	3	0	3	17215	142	3	0	3	17977	148	4	0	2
	3000K	70	17316	143	3	0	3	16872	139	3	0	3	17917	148	3	0	3	18711	154	4	0	2
	3500K	70	17447	144	3	0	3	17000	140	3	0	3	18052	149	3	0	3	18852	155	4	0	2
	4000K	70	17760	146	3	0	3	17305	143	3	0	3	18377	151	3	0	3	19191	158	4	0	2

LED SPECIFICATIONS - CERAMIC PLATFORM

• Performance, Ceramic-cooling technology	• Ingress Protection: IP66
• Up to 18,960 lumens	• Certification: ETL
• Efficacy ranges from 131-160 lm/W	• CRI: >70
• Distributions: Types II, III, IV, V	
• CCT: 2700K, 3000K, 3500K, 4000K	
• Life: L70 > 50,000 hours	

DRIVER SPECIFICATION

• Universal Input 120-277V	• Constant current output 50/60Hz
• 0-10V Dimming to 10%	• Operating Temperature: -40°C Minimum
• Power Factor @ Full Load >95%	• Ingress Protection: IP66
• THD @ Full Load <10%	• Certifications: UL Recognized, CSA, RoHS

Project: _____

Fixture Type: _____ Quantity: _____

Customer: _____

LED PERFORMANCE Continued

LIGHT GUIDE SMALL

System Wattage (Nominal)	CCT	CRI	Type II					Type III					Type IV					Type V				
			Delivered Lumens	Lumens Per Watt	B	U	G	Delivered Lumens	Lumens Per Watt	B	U	G	Delivered Lumens	Lumens Per Watt	B	U	G	Delivered Lumens	Lumens Per Watt	B	U	G
30W	2700K	70	3307	110	1	0	1	3405	114	1	0	1	3474	116	1	0	1	3124	104	2	0	1
	3000K	70	3211	107	1	0	1	3307	110	1	0	1	3373	112	1	0	1	3034	101	2	0	1
	3500K	70	3595	120	1	0	1	3702	123	1	0	1	3776	126	1	0	1	3396	113	2	0	1
	4000K	70	3479	116	1	0	1	3583	119	1	0	1	3655	122	1	0	1	3287	110	2	0	1
39W	2700K	70	4299	110	2	0	2	4427	114	2	0	2	4515	116	2	0	2	4061	104	2	0	1
	3000K	70	4175	107	2	0	2	4299	110	2	0	2	4385	112	2	0	2	3944	101	2	0	1
	3500K	70	4673	120	2	0	2	4813	123	2	0	2	4909	126	2	0	2	4415	113	2	0	1
	4000K	70	4523	116	2	0	2	4659	119	2	0	2	4751	122	2	0	2	4273	110	2	0	1
50W	2700K	70	5492	110	2	0	2	5676	114	2	0	2	5789	116	2	0	2	5207	104	3	0	1
	3000K	70	5333	107	2	0	2	5511	110	2	0	2	5622	112	2	0	2	5056	101	3	0	1
	3500K	70	5970	120	2	0	2	6170	123	2	0	2	6293	126	2	0	2	5660	113	3	0	1
	4000K	70	5778	116	2	0	2	5972	119	2	0	2	6092	122	2	0	2	5479	110	3	0	1
65W	2700K	70	-	-	-	-	-	7378	114	3	0	3	7526	116	2	0	2	6769	104	3	0	1
	3000K	70	-	-	-	-	-	7165	110	3	0	3	7308	112	2	0	2	6573	101	3	0	1
	3500K	70	-	-	-	-	-	8021	123	3	0	3	8181	126	2	0	2	7358	113	3	0	1
	4000K	70	-	-	-	-	-	7764	119	3	0	3	7919	122	2	0	2	7122	110	3	0	1
80W	2700K	70	-	-	-	-	-	9007	114	3	0	3	9186	116	3	0	3	8321	104	3	0	2
	3000K	70	-	-	-	-	-	8747	110	3	0	3	8921	112	3	0	3	8081	101	3	0	2
	3500K	70	-	-	-	-	-	9792	123	3	0	3	9986	126	3	0	3	9046	113	3	0	2
	4000K	70	-	-	-	-	-	9478	119	3	0	3	9666	122	3	0	3	8758	110	3	0	2

LIGHT GUIDE LARGE

System Wattage (Nominal)	CCT	CRI	Type II					Type III					Type IV					Type V				
			Delivered Lumens	Lumens Per Watt	B	U	G	Delivered Lumens	Lumens Per Watt	B	U	G	Delivered Lumens	Lumens Per Watt	B	U	G	Delivered Lumens	Lumens Per Watt	B	U	G
60W	2700K	70	7392	123	3	0	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	3000K	70	7352	123	3	0	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	3500K	70	7756	129	3	0	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	4000K	70	7872	131	3	0	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
75W	2700K	70	9310	123	3	0	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	3000K	70	9259	123	3	0	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	3500K	70	9769	129	3	0	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
	4000K	70	9915	131	3	0	3	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
80W	2700K	70	-	-	-	-	-	9978	125	3	0	3	10114	126	3	0	3	9546	119	3	0	2
	3000K	70	-	-	-	-	-	9924	124	3	0	3	10059	126	3	0	3	9494	119	3	0	2
	3500K	70	-	-	-	-	-	10470	131	3	0	3	10613	133	3	0	3	10017	125	3	0	2
	4000K	70	-	-	-	-	-	10627	133	3	0	3	10772	135	3	0	3	10167	127	3	0	2
90W	2700K	70	-	-	-	-	-	11225	125	3	0	3	11378	126	3	0	3	10739	119	4	0	2
	3000K	70	-	-	-	-	-	11165	124	3	0	3	11317	126	3	0	3	10681	119	4	0	2
	3500K	70	-	-	-	-	-	11779	131	3	0	3	11939	133	3	0	3	11269	125	4	0	2
	4000K	70	-	-	-	-	-	11955	133	3	0	3	12118	135	3	0	3	11437	127	4	0	2
105W	2700K	70	-	-	-	-	-	12887	125	3	0	3	13251	126	3	0	3	12417	119	4	0	2
	3000K	70	-	-	-	-	-	12817	124	3	0	3	13179	126	3	0	3	12350	119	4	0	2
	3500K	70	-	-	-	-	-	13522	131	3	0	3	13904	133	3	0	3	13029	125	4	0	2
	4000K	70	-	-	-	-	-	13725	133	3	0	3	14112	135	3	0	3	13224	127	4	0	2

Project: _____

Fixture Type: _____ Quantity: _____

Customer: _____

LED SPECIFICATIONS - LIGHT GUIDE SMALL (EDGE LIT)

• Edge-lit comfort solution	• Ingress Protection: IP66
• Up to 9,986 lumens	• Certifications: UL, RoHS
• Efficacy ranges from 101-126 lm/W	• CRI: >70
• Distributions: Types II, III, IV, V	
• CCT: 2700K, 3000K, 3500K, 4000K	
• Life: L70 = 80,000 hours	

DRIVER SPECIFICATION

• Universal Input 120-277V
• 0-10V Dimming to 10%
• Power Factor @ Full Load >95%
• THD @ Full Load <10%
• Constant current output 50/60Hz
• Operating Temperature: -40°C Minimum
• Ingress Protection: IP66
• Certifications: UL Recognized, CSA, RoHS

SURGE SUPPRESSION

- A Surge Protection Device (SPD) is standard featuring a 20kA maximum discharge current 8/20µs Waveform (Imax); 10kA nominal discharge current 8/20µs Waveform (In) and thermally protected varistor technology.
- Meets IEEE C62.41.2 Location Category C High and US Dept of Energy MSSLC Model Spec.
- SPD shall be wired in series and will result in an open circuit during a fault state, resulting in the luminaire to turn off to protect system components thereby indicating SPD module replacement.

LED SPECIFICATIONS - LIGHT GUIDE LARGE (EDGE LIT)

• Edge-lit comfort solution	• Ingress Protection: IP66
• Up to 14,122 lumens	• Certifications: UL, RoHS
• Efficacy ranges from 119-135 lm/W	• CRI: >70
• Distributions: Types II, III, IV, V	
• CCT: 2700K, 3000K, 3500K, 4000K	
• Life: L70 = 80,000 hours	

HIGH-LOW MOTION SENSOR (HLMSPC06 & HLMSPC10)

• Sensor Type: 100% Digital PIR
• Line Voltage Sensor: 120-277 VAC
• Factory Defaults:
• Photocell: ON
• Light Levels: High / OFF
• Motion Time Delay: 5 min
• Ramp-up Rate: 3 sec
• Fade Down: 5 min
• High/Low and other settings are field-commissionable (others)
• Ingress Protection: IP66

HIGH-LOW MOTION SENSOR - FLUSH MOUNT (HLMSPC-FM)

• Sensor Type: Quad Element Passive Infrared (PIR)
• Factory Defaults:
• Photocell: ON
• Dim Levels: High / 50%
• Motion Time Delay: 5 min
• Max Sensor Range: 40 ft
• Ingress Protection: IP65

FINISHES

- A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.
- Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

WARRANTYSee www.ANPlighting.com for complete fixture warranty.**LED warranty information**

- 5 year limited warranty* on Light Guide engines
- 5 year limited warranty* on LED Drivers

*Limited Warranty: A typical year is defined as 4380 hours of operation. Failed defined as more than 10% of the total platform LED's not operating.

ACCESSORIES

HSS150-1

HSS150-F11
(field installable)

HLMSPC-FM



HLMSPC-06 & HLMSPC-10



PC

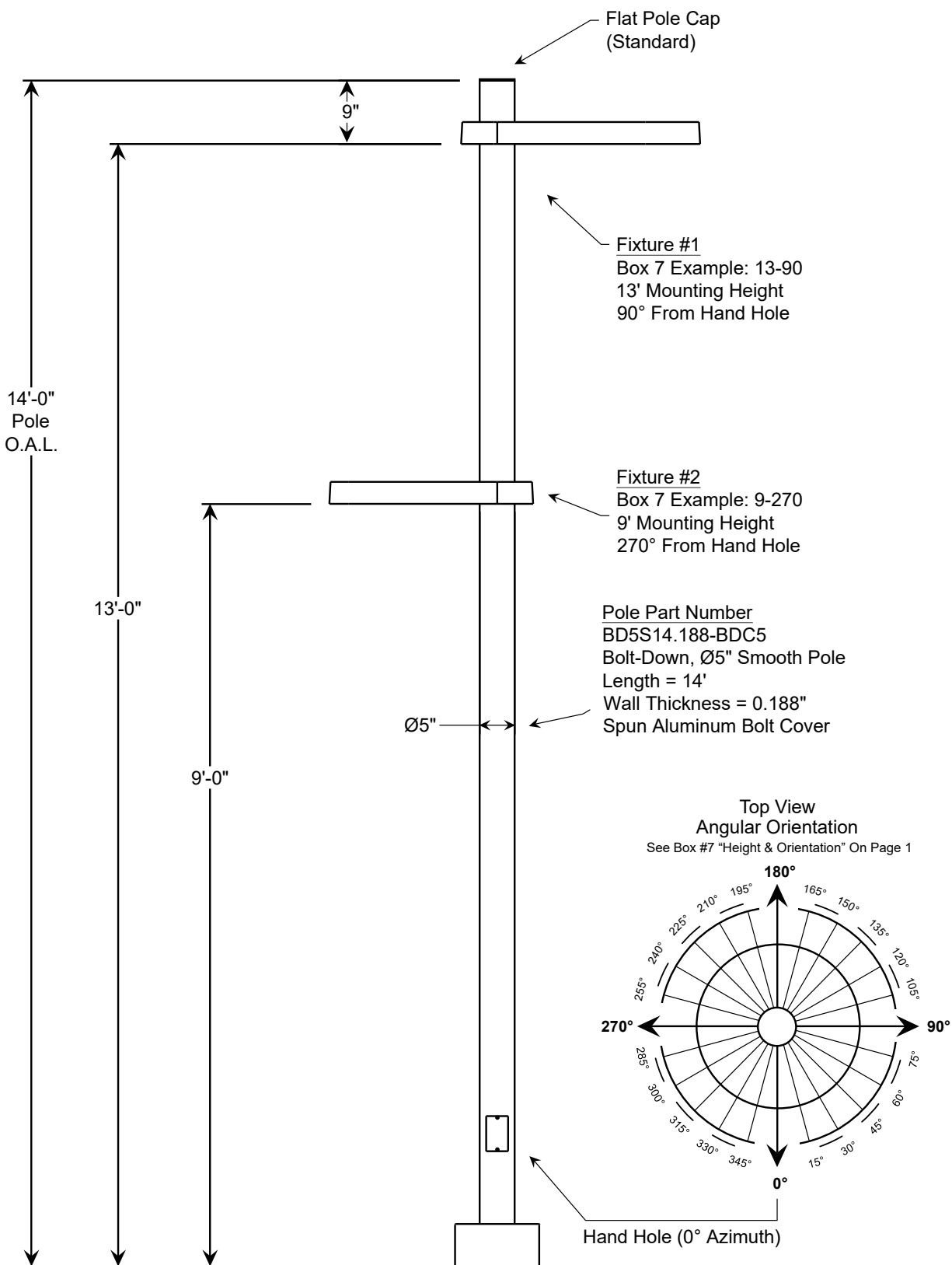


TLPC



TL5 & TL7

Project: _____
 Fixture Type: _____ Quantity: _____
 Customer: _____



Project: _____

Fixture Type: _____ Quantity: _____

Customer: _____

**Specifications**

Material:
All parts are A356 cast aluminum and extruded aluminum. All mounting hardware shall be stainless steel or zinc plated steel.

Lens:
PMMA Optical lens.

Mounting:
Standard anchor bolts are 3/8" x 10" x 2". Bolts, nuts and washers shall be hot dipped galvanized steel.

Bolt pattern diameter is 2 7/8".

Drivers:
Universal voltage 120-277 is standard. 0-10V, TRIAC and ELV dimming to 1% is standard.

See page 2 table for more LED engine and driver specifications.

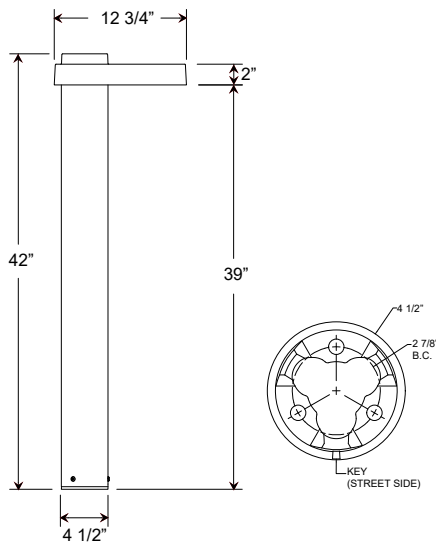
Electrical:
20KA max/10KA nominal surge protection device is standard.

Certifications:
UL Listed for outdoor, wet location. UL1598 Standard for Safety for Lighting Luminaires.

Finish:
A polyester powder coat high quality finish.

Marine grade finish is available.

Modifications:
Consult factory for custom or modified designs.

**Catalog Logic**

BL0131 **A010LD2** **T5** **40K** - **N/A** - **72**
Bollard Series Light Source & Wattage Optics CCT Accessories Finish

BL0131

Weight: 12 lbs

Siteline Bollard

Catalog Number

1

2

3

4

5

BL0131**1 LIGHT SOURCE & WATTAGES**

A010LD2	(10W LED Array)
A018LD4	(18W LED Array)
A032LD8	(32W LED Array)

2 OPTICS

T1	(Type I)
T2	(Type II)
T3	(Type III)
T5	(Type V)

3 COLOR TEMPERATURE (CCT)

27K	(2700K)
30K	(3000K)
35K	(3500K)
40K	(4000K)

4 ACCESSORIES

HLMSIN	(Integral high-low motion sensor; See page 2 for specifications)
HSS180-1	(180° House Side Shield for BL0131)
*IBOLT	(Eye Bolt)
EMG-LED06	(6W, LED Emergency Driver)
EMG-LED10	(10W, LED Emergency Driver)
EMG-LED16	(16W, LED Emergency Driver; only compatible with 18w and 32w)
EMG-LED20	(20W, LED Emergency Driver; only compatible with 32w)
*GFI15	(15 amp GFCI receptacle outlet)
*GFI20	(20 amp GFCI receptacle outlet)
*GFI-WPU	(20 amp GFCI receptacle w/weather proof in-use cover)

*Accessory finish will match fixture finish.

5 FINISHES

*Premium and Marine Grade Finish have additional charges

Standard Colors		Marine Grade*	Standard Colors	Standard Grade	Marine Grade*
Aspen Green	10	10M	Architectural Bronze	51	51M
Cantaloupe	11	11M	Patina Verde	52	52M
Lilac	12	12M	Copper Clay	53	53M
Putty	13	13M	Silver	56	56M
Raw Unfinished	40	NA	Black Verde	61	61M
Black	41	41M	Painted Chrome	70	70M
Forest Green	42	42M	Painted Copper	71	71M
Bright Red	43	43M	Textured Black	72	72M
White	44	44M	Matte Black	73	73M
Bright Blue	45	45M	Textured Architectural Bronze	76	76M
Sunny Yellow	46	46M	Textured White	77	77M
Aqua Green	47	47M	Textured Silver	78	78M
Galvanized	49	NA	PREMIUM FINISH	Premium Grade*	Marine Grade*
Navy	50	50M	Carbon Graphite	96	96M

Consult Factory for additional paint charges and availability.

Project: _____
 Fixture Type: _____ Quantity: _____
 Customer: _____

12 LED ARRAY**PERFORMANCE**

System Wattage	CCT	CRI	Type I				Type II				Type III				Type V				Drive Current				
			Delivered Lumens	Lumens Per Watt	B	U	G	Delivered Lumens	Lumens Per Watt	B	U	G	Delivered Lumens	Lumens Per Watt	B	U	G						
10W	2700K	80	1003	100	1	0	1	1021	102	1	0	1	1016	102	0	0	1	945	94	1	0	1	250mA
	3000K	70	1097	112	1	0	1	1117	112	1	0	1	1111	111	0	0	1	1033	103	1	0	1	250mA
	3500K	70	1154	115	1	0	1	1175	118	1	0	1	1170	117	0	0	1	1088	109	1	0	1	250mA
	4000K	70	1178	118	1	0	1	1199	120	1	0	1	1193	119	0	0	1	1110	111	1	0	1	250mA
18W	2700K	80	1805	100	1	0	1	1838	102	1	0	1	1829	102	1	0	1	1701	94	1	0	1	450mA
	3000K	70	1974	110	1	0	1	2010	112	1	0	1	2001	111	1	0	1	1860	103	1	0	1	450mA
	3500K	70	2077	115	1	0	1	2115	118	1	0	1	2106	117	1	0	1	1958	109	1	0	1	450mA
	4000K	70	2120	118	1	0	1	2158	120	1	0	1	2148	119	1	0	1	1997	111	1	0	1	450mA
32W	2700K	80	3209	100	2	0	2	3267	102	1	0	1	3252	102	1	0	1	3024	94	2	0	1	800mA
	3000K	70	3509	110	2	0	2	3574	112	1	0	1	3557	111	1	0	1	3307	103	2	0	1	800mA
	3500K	70	3693	115	2	0	2	3761	118	1	0	1	3743	117	1	0	1	3481	109	2	0	1	800mA
	4000K	70	3768	118	2	0	2	3837	120	1	0	1	3819	119	1	0	1	3551	111	2	0	1	800mA

LED SPECIFICATIONS -SMILE LED (CREE XLAMP)

- PMMA Optical Lens
- 12 High-power LEDs
- Efficacy ranges from 94-120 lm/W
- Distributions: Type I, II, III, V
- CCT: 2700K, 3000K, 3500K, 4000K
- Certifications: UL Recognized, RoHS, REACH
- CRI: >70 (2700K is >80)

SURGE SUPPRESSION

- A Surge Protection Device (SPD) is optional featuring a 20kA maximum discharge current 8/20µs Waveform (Imax); 10kA nominal discharge current 8/20µs Waveform (In) and thermally protected varistor technology.
- Meets IEEE C62.41.2 Location Category C High and US Dept of Energy MSSLC Model Spec.
- SPD shall be wired in series and will result in an open circuit during a fault state, resulting in the luminaire to turn off to protect system components thereby indicating SPD module replacement.

FINISHES

- A polyester powder coat high quality finish is electro-statically applied and baked at 430° for exceptional durability and color retention. Products undergo an intensive five-step cleansing and pretreatment process for maximum paint adhesion.
- Marine grade finish provides superior salt, humidity and UV protection. This coating withstands up to 3000 hours of continuous salt spray, comes with a 5-year warranty and is available in either a textured or gloss surface.

WARRANTY

See www.ANPlighting.com for complete fixture warranty.

LED warranty information

- 5 year limited warranty*

*Limited Warranty: A typical year is defined as 4380 hours of operation

DRIVER SPECIFICATIONS-ERP ESS SERIES(10W/18W ONLY)

- Universal Input 120-277V
- Dimming: 0-10V, TRIAC, ELV (Dims to 1%)
- Power Factor @ Full Load >90%
- THD @ Full Load <20%
- Constant Current Output 50/60Hz
- Operating Temperature: -30°C Minimum
- Lifetime: >50,000 hours
- Ingress Protection: IP66
- Certifications: UL Recognized, CE

DRIVER SPECIFICATION-ERP PHB SERIES (32W ONLY)

- Universal Input 120-277V
- Dimming: 0-10V, TRIAC, ELV (Dims to 1%)
- Power Factor @ Full Load >90%
- THD @ Full Load <20%
- Constant Current Output 50/60Hz
- Operating Temperature: -10°C Minimum
- Lifetime: >50,000 hours
- Certifications: UL Recognized, CE

SPECIFICATIONS -IR-TEC LMD-109 OCCUPANCY SENSOR

- Sensor Type: High Frequency Doppler (HFD)
- 360° Detection Range, Approximately 15 (30' Diameter)
- Line Voltage Sensor: 120 / 240 / 277 VAC, 50/60 Hz
- Factory Defaults:
- Dim Levels: High / 30%
- Motion Time Delay: 5 min
- For other settings, consult factory

Project: _____
 Fixture Type: _____ Quantity: _____
 Customer: _____

ACCESSORIES



HLMSIN



HSS180-1



IBOLT



EMG-LED



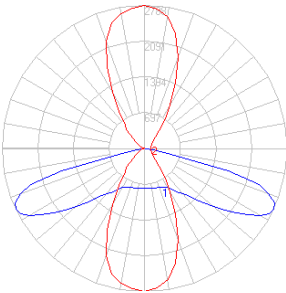
GFI15 & GFI20



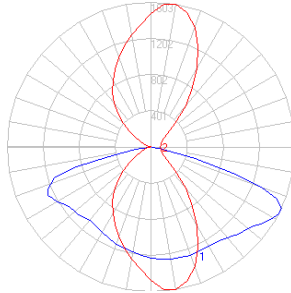
GFI-WPU

PHOTOMETRIC DISTRIBUTION - 12 LED ARRAY

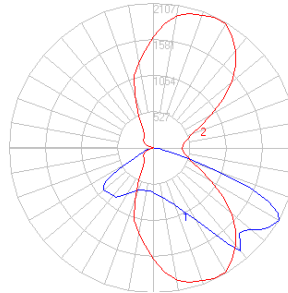
TYPE 1



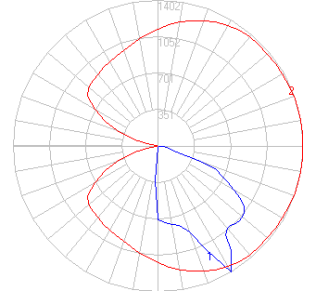
TYPE 2



TYPE 3



TYPE 5





EC44509-BK
Black



EC44509-GY
Gray

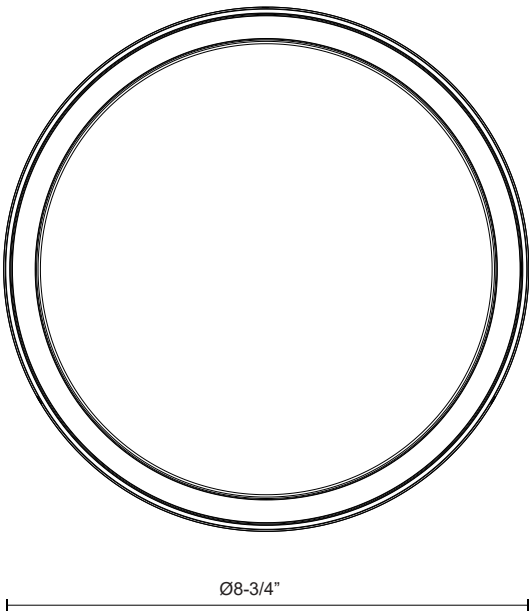
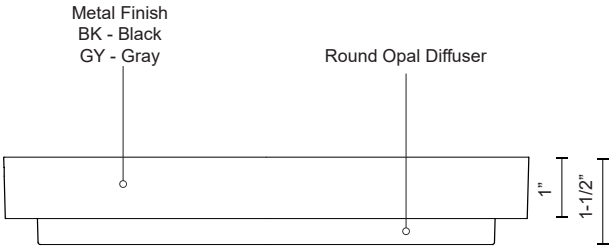
SPECIFICATION DETAILS

Fixture Dimensions	D8-3/4" x H1-1/2"
Light Source	AC LED Module
Wattage	21W
Total Lumens	1600lm
Delivered Lumens	BK- 1234lm; GY-1272lm;
Voltage	120V
Color Temperature	3000K
CRI (Ra)	90CRI
Optional Color Temps	2700K - 5000K Available, Minimum Order Quantities Apply
LED Rated Life	50,000 hours
Dimming	100% - 10%, ELV Dimmer (Not Included)
Diffuser Details	Frosted PC Diffuser
Location	Wet
Mounting Style	All Orientation; Ceiling and Wall;
Paint Finish	BK02; GY01;

* For custom options, consult factory for details.
* For warranty information, please visit www.kuzcolighting.com/warranty

DESCRIPTION

Circular cast aluminum body and frame. Lightly textured powder-coat finish. Round opal polymeric diffuser. Outward emitting light. Rated for exterior use. Custom options available.



KUZCO

CANADA: 19054 28TH AVENUE - SURREY, BC V3Z 6M3
USA: 3035 E. LONE MOUNTAIN ROAD - LAS VEGAS, NV 89081

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COMMENT



PLANNING STAFF REPORT

File: PC-2565a

To: Plan Commission, for the 7/09/24 meeting
Preparer: Mark Opitz, City Planner mopitz@cityofmiddleton.us
Date: July 3, 2024

Requested Action: To Amend the Conservancy Bend General Development Plan to replace 14 townhomes with a multi-family apartment bldg.

Location: 2431-2439 Parmenter St. and 2420-2446 Clark St.

Applicant: Conservancy Bend Residences LLC / T. Wall Enterprises (Contact: Jake Bunz) 1818 Parmenter Street, Suite 400 jake@twallenterprises.com

Property Owner: Conservancy Townhomes LLC

Existing Zoning: PUD-SIP (Planned Unit Development – Specific Implementation Plan)

Existing Land Use: Mostly vacant with surface parking on a portion of the site

Future LU Map: Urban Mixed Use (see [Comprehensive Plan, Page 24](#))

SUMMARY

In response to feedback provided at the May 28 Plan Commission meeting, the applicant on July 2 presented two development options: Option 1 consists of a 44-unit building as proposed in May whereas Option 2 consists of a 50-unit building that would include six 2-bedroom units extending farther west over the underground parking level, which is the same size in both scenarios. Either concept would be designed similar in style to the multifamily building constructed on the south end of the property. The developer purchased the entire Conservancy Bend property from the City in 2019 after his development proposal was selected through a request for proposals (RFP) process. The Specific Implementation Plan approved in September 2019 indicated that Building T2 would consist of nine townhouse units bordering conservancy land to the north while Building T3 would comprise five townhouse units facing Clark Street. The developer proposed a similar change in development concept in May 2020 and again in October 2023.

Organization of this report:

Planning Staff Conclusions and Recommendation	Page 2
Background	Page 3
Staff Analysis	Page 7
Evaluation of Criteria for GDP Approval	Page 10
Appendix A: Chronology of previous actions	Page 13
Appendix B: Pertinent excerpts from meeting minutes	Page 15

CONCLUSIONS AND RECOMMENDATION

Based on our analysis of the developer's submittal and review of the previously approved General and Specific Implementation Plans, city ordinances, and previous agreements, Planning staff have concluded that it could be feasible and appropriate to amend the General Development Plan. Although the proposed GDP amendment is consistent with the Future Land Use Map designation of Urban Mixed Use for this site, it would represent a shift from the concept approved when the City selected the developer for this property. It would forego an opportunity to construct more townhouse-style housing in close proximity to the downtown.

Traditional zoning classifications do not distinguish between owner- and renter-occupied housing (zoning regulates the land use and form, not the land user). The applicant voluntarily entered into a Planned Development District (PDD) for this property, which proposed owner-occupied housing. (Given the use of developer-financed TIF assistance, the City has not yet issued the bond to support the Townhouse component of the original project.)

Potential Motion for the 7/9/24 Plan Commission meeting:

The motion to be adopted is contingent on whether commissioners wish to recommend approval of the GDP amendment to the Council based on one of the development options presented by the developer on July 2. Per city ordinance, the Plan Commission is to provide its recommendation(s) on a zoning amendment by July 27 (within 60 days of the public hearing).

Any motion to recommend Council approval should include at a minimum the following contingencies:

1. Approval of the access and site layout by public safety (Fire/EMS/Police).
2. City approval of a replat to reconfigure the existing parcels, with indication of the land or easements necessary to accommodate site circulation (access) and public utilities.
3. City engineer approval of revisions to the stormwater management plan for the entire development.
4. Submittal of a Specific Implementation Plan for the property within five years after the approval of the ordinance amending the General Development Plan, with the SIP submittal complying with the provisions of Section 10.10.45(3)(d) in effect at the time of submittal. No building shall be permitted until approval of the new SIP for Phase 2 and issuance of valid building permits.
5. The developer shall not establish any regulations prohibiting the use of any renewable energy system or technology, nor any regulations prohibiting community gardens / urban agriculture.
6. The Plan Commission will determine the appropriate park fees following submittal of the new SIP.
7. Resolution of all city staff recommendations as indicated on the plan set submitted by the developer on 4/16/24.

BACKGROUND

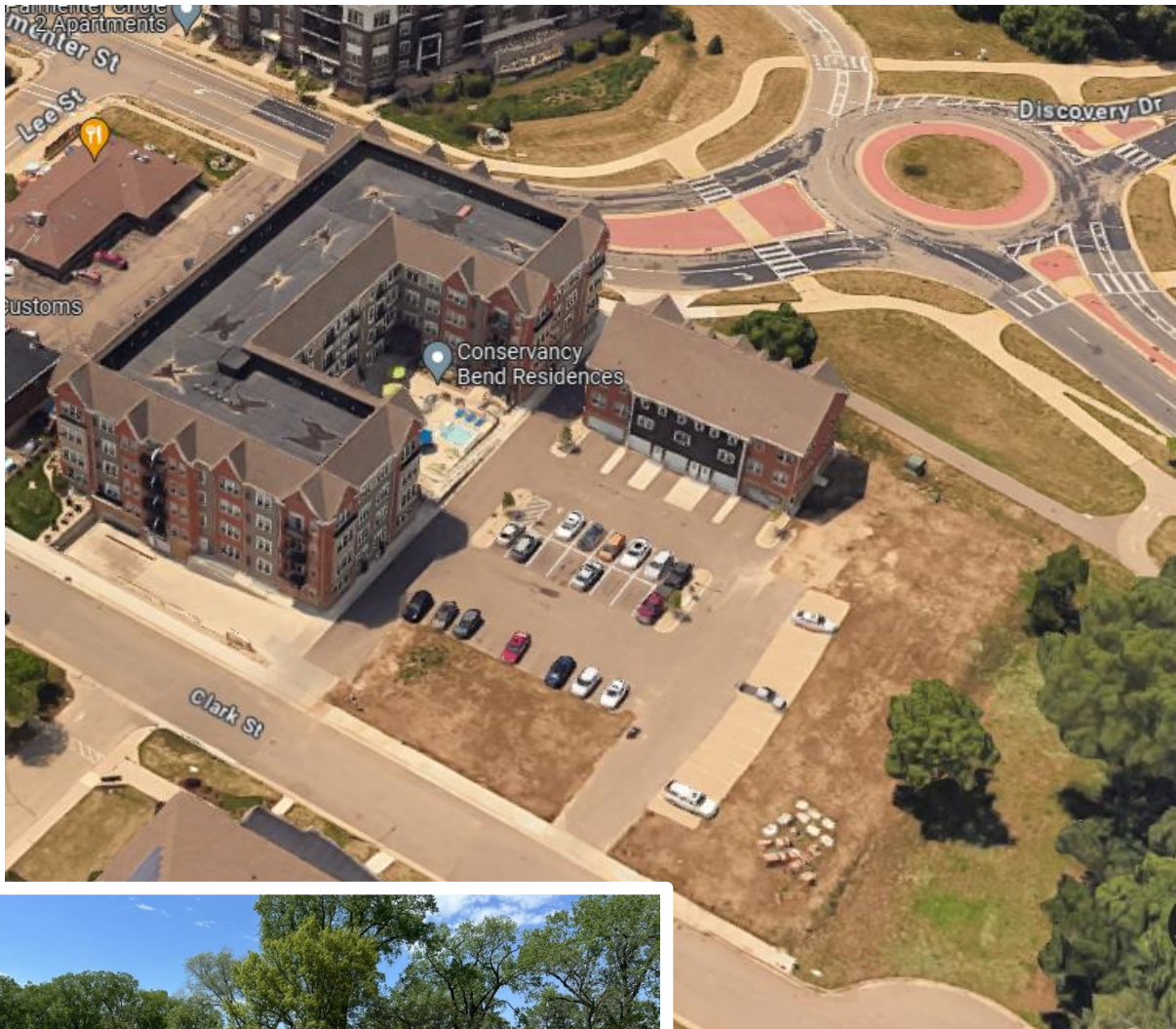
Project Context:

The application involves 14 parcels platted for townhouse-style buildings, one outlier devoted to vehicle circulation through a shared parking area, and the portion of a parcel that encompasses parking associated with the existing apartment building to the south.

- To the North: Conservancy land associated with Pheasant Branch Creek
- To the East: Former Clark Street Community School building, now used by the Middleton/Cross-Plains School District as a 4K education center
- To the South: Conservancy Bend Apartments (87-unit building)
- To the West: Five townhomes (part of Conservancy Bend Residences)



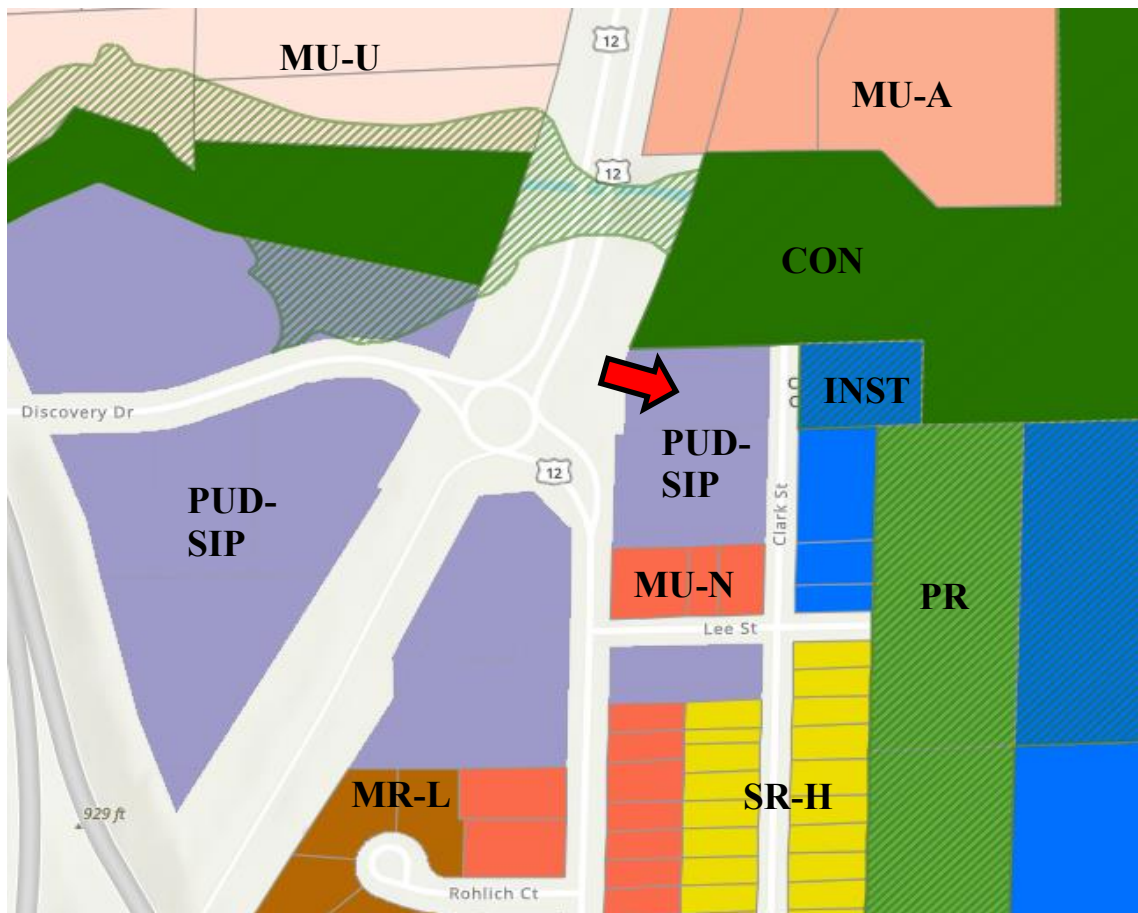
Existing Conditions:



View from Clark St. – 5/12/24



View from Parmenter St. - 5/12/24

Current Zoning:**Comprehensive Plan – Future Land Use (FLU) Map:**

The [Future Land Use Map](#) in the City's Comprehensive Plan indicates Urban Mixed Use for the entire Conservancy Bend development. Urban Mixed Use is defined as:

Medium- and large-scale retail, service, and residential uses located near major roads, interchanges, and highways that serve the City as well as neighboring communities, with building heights from 2 to 10 stories.



Approval Process:

[Section 10.10.45\(3\)\(c\) of the Zoning Ordinance](#) outlines the requirements for submittal and approval of a General Development Plan. Because a GDP and Specific Implementation Plan were previously approved for the development site, it is necessary to treat the proposed project as a GDP Amendment using these review and approval procedures. Commissioners are charged with approving the GDP in accordance with the Criteria for Approval in Section 10.10.45(3)(e), an evaluation of which is presented near the end of the Staff Analysis section. Pursuant to Section 10.10.30(7)(b), the Plan Commission is tasked with making its recommendation(s) to the Common Council **within 60 days of the public hearing** based on formal finds of facts and in consideration of whether the public benefits outweigh any and all potential adverse impacts of the proposed amendment. The Council has the final authority to approve changes to zoning regulations pertaining to a particular property.

STAFF ANALYSIS

In response to feedback provided at the May 28 Plan Commission meeting, the applicant on July 2 presented two development options. Option 1 consists of a 44-unit building as proposed in May whereas Option 2 consists of a 50-unit building that would include six 2-bedroom units. Either concept would be designed similar in style to the multifamily building constructed on the south end of the property. The Option 2 submittal consists only of tabular data, floor plans, and building elevations/renderings.

Aside from the variation in detail between the submittals, the essential difference between Options 1 and 2 is that the latter option extends farther west over the underground parking level, thereby reducing the size of the first-level patio. With both development concepts, the lower level footprint is the same size (13,260 SF) and in the same location. Consequently, there is no change in the amount of area available for parking, thereby resulting in the parking ratio decreasing from 0.93 to 0.82 per dwelling unit. For an apartment land use, Section 10.06.06 of the Zoning Ordinance requires a minimum of one parking stall per dwelling unit, although PUD zoning can afford some flexibility from typical standards.

The applicant's cover letter indicates a reluctance to adhere to Multi-Family—Medium dimensional standards, which would require a 15 ft. setback from the east property line and a potentially greater setback from the north property line (depending on what is considered the front of the building for zoning purposes). This would require a reduction in the size of the building if the surface parking area is not to be reduced in size.

The following information **pertains to the 28-page Option 1 submittal** and is unchanged from staff's report for the 5/28/24 PC meeting **with the exception of the red text.**

Applicant Submittal:

The developer's 28-page submittal entitled "GDP Submittal - Master Plan" contains details that are more appropriate for consideration at the Specific Implementation Plan level of review, so this analysis focuses on pertinent aspects pertaining to the General Development Plan components as identified in Section 10.10.45(3)(c) of the zoning ordinance.

1a.: Context information is minimal but sufficient. This staff report supplements the zoning of abutting properties.

1b.: Generalized site plan (page 4 / sheet C100) is sufficient given the site context and existing features.

1c: Sufficient statistical data is provided on pages 2 and 3 of the submittal.

1d: The landscaping plan (Sheets L100-L200 on pages 18-19 of PDF) will need additional detail at the time of SIP submittal.

1e: Based on existing signage, no additional details are necessary at this time.

1f: Additional details about property owner association, covenants, easements, and deed restrictions will need to be provided during the SIP phase.

1g: Given the stated intent to continue the themes of the existing two buildings, much of the information in Section 10.10.45(3)(c)1.g. is not necessary. However, the developer is advised that a more thorough response to the items listed here will be necessary with future project submittals.

1h: Based on the city engineer's review of the previously completed traffic impact analysis (TIA), he and I conclude that it seems improbable that the number of additional trips from replacing 14 townhomes with 44 one-bedroom apartment units would be likely to trigger road improvement needs.

1i: City staff do not see a need for a utility study to determine adequacy of water and sewer services. However, the GDP amendment does raise questions about how best to accommodate existing utility services within future land configuration (more on that below).

The lighting plan included on pages 20-28 of the PDF is more appropriate a component of the SIP submittal.

Questions and/or Concerns based on staff review:

Comparison between approved and proposed buildings

- **Setbacks:** The approved SIP indicates that Building T2 would be set back 10 ft. from the northern property line. The new plan indicates a setback ranging from 7.0 to 11.8 feet. The approved SIP indicates that Building T3 would be set back 8 ft. from the property line along Clark St. The new plan indicates that the east end of the apartment building would have a setback ranging from 4.8 to 6.2 feet. The ramp leading to the underground garage would be placed along the east lot line, similar to the ramp serving the existing building to the south. What this all boils down to is that the proposed apartment building would be constructed slightly closer to the northern and eastern property lines.
- **Impervious Area:** The approved GIP indicates that the impervious area upon completion of the existing apartments and the three townhouse buildings (T1, T2, T3) would result in 71,900 SF of impervious surface area. (Prior to that, the 84,600 SF redevelopment site contained 59,550 SF of impervious area.) **In May, the developer's engineer indicated that their original design (with the two additional townhome buildings) would have resulted in a total impervious area of 74,077 SF, but the proposed apartment building (with the same size lower level in both options) would result in an impervious area of 72,138 SF, or a reduction of 1,939 SF. This represents an impervious surface ratio of 85.3%.**
- **Building Height:** Buildings T2 and T3 were envisioned to have a height of 52 feet. The proposed apartment building appears to have a comparable height, although the exact amount does not appear to be indicated in the submittal.

Pedestrian circulation between buildings and to Clark St.

- Future residents and visitors will want to walk between buildings or to/from Parmenter and Clark Streets. Thus, there should be a continuous, accessible walkway providing circulation within the site and to Clark St. As noted by engineering staff (page 3 of the PDF), a walkway bridge could potentially be extended alongside the building over the entrance to the underground parking level.

Parking and on-site vehicle circulation

- The proposed apartments would provide 41 parking spaces for 44 dwelling units, a ratio of 0.93. Section 10.06.06 requires a minimum of one automobile parking space per dwelling unit. However, the GDP submittal indicates (on page 2) that there are 69 covered and 22 surface parking spaces for the existing apartment building, so theoretically it would be possible to reallocate three of the surface spaces for the new building. Is this the developer's intent? The original GIP proposed 1.20 parking stalls per DU.
- There doesn't necessary need to be an outlot to provide access to the townhomes, but they would need an easement for access (and maybe parking stall use).
- Drivers likely will have difficulty maneuvering out of the eastern surface parking spaces under the current layout configuration.
- Proposed bicycle parking (48 racks) is sufficient.

Lighting

- Do any of the fixtures producing up-lighting (as shown on page 21) cause light to extend beyond the roofline? Section 33.05(3)(i) states, "Building-mounted lights shall be mounted and installed so that all light is directed downward, unless the lights are decorative lighting in which case the light shall be directed toward the building."

Utilities

- Engineering staff have indicated several concerns with respect to how the proposed new building and lot reconfiguration would affect existing utilities and parcels (for example, on Sheet C300). These comments will need to be addressed during the SIP phase and through a replat or CSM reconfiguring the existing parcels and outlot. Additional engineering staff review will be necessary once the developer's intent with respect to the replat becomes clear.
- As noted by the city engineer: "It seems to me we can't really take a good look at the utility plans without first reviewing the replat. Without that, we won't know with certainty the number or layout of intended lots. A big factor is whether the townhouse lots will be combined, or if they're intended to remain as separate lots. That then drives public water and sanitary main limits, which may affect services for the proposed apartment building.
- Regarding garbage & recycling service, the lower level looks like it's planned only 10' high, so a typical solid waste collection truck won't be able to drive down to the dumpsters, much less empty them. That implies an intention for a person to roll the dumpsters up the ramp to a truck on Clark St. During winter, or times of resident traffic, that could be hazardous.

Evaluation of Criteria for General Development Plan Approval:

Section 10.10.45(3)(e) of the Zoning Ordinance lists the following Criteria for Approval to guide the Plan Commission and Common Council in its review and action on an application for Planned Unit Development zoning approval, including an amendment to the General Development Plan. Some of the ten criteria pertain more to establishment of a new PUD (versus amending an existing one), while others relate more to the specific plans instead of the general plans. Staff comments follow each of the criteria.

1. The proposed Planned Unit Development project is consistent with the overall purpose and intent of this Chapter.
 - The Council previously decided to rezone this area to Planned Development District (now referred to as a PUD in the new zoning ordinance that took effect on March 1). As the previous owner of the property, the City selected the original development concept with the intent to provide flexibility in the types of uses, lot area and yard requirements, etc. afforded by PUD zoning.
2. The proposed Planned Unit Development project is consistent with the City's Comprehensive Plan and other area plans.
 - The proposed GDP amendment increases the amount of housing units and increases density on an infill site (consistent with Housing Strategy #1 in the Comp Plan), but if approve it would no longer promote homeownership opportunities (Housing Strategy #5). The loss of townhouse-style units could also be construed as a missed opportunity to develop more “missing middle” housing types, which Action B under Strategy #1 indicates are housing types scaled between single-family detached house and large apartment buildings.
3. The proposed Planned Unit Development project maintains the desired relationships between land uses, land use densities and intensities, and land use impacts in the environs of the subject site.
 - Compared with the originally approved GIP and SIP, there would be no substantive change in how the project interacts with surrounding land uses. However, it would be important to maintain safe pedestrian circulation within the site, as noted in engineering staff comments.
4. Adequate public infrastructure is or will be available to accommodate the range of uses being proposed for the Planned Unit Development project, including but not limited to public sewer and water and public roads.
 - Public infrastructure is sufficient to serve the site, whether its developed in its original configuration or with a second apartment building. However, engineering staff point out that there are some complexities involved between existing parcel boundaries and utility ownership that will need to be addressed if the amendment is approved.

5. The proposed Planned Unit Development project incorporates appropriate and adequate buffers and transitions between areas of different land uses and development densities/intensities.
 - No buffering between uses is necessary as the uses will be compatible and complementary to each other. There is no substantive change with how the revised development concept interacts with surrounding land uses.
6. The proposed Planned Unit Development project design does not detract from areas of natural beauty surrounding the site.
 - Assuming building height is comparable to the original T2 Building, the revised apartment concept would not substantively alter the linear conservancy / creek corridor to the north of the property. (Reducing the setback by up to 3 feet would not be perceptible to most people.) Detailed landscaping plans for areas adjacent to the building will need to be part of the subsequent SIP approval process.
7. The proposed architecture and character of the proposed Planned Unit Development project is compatible with adjacent/nearby development.
 - The architecture of the 44-unit building would mimic the apartment building that the developer built to the south as well as the materials in the townhomes to the west.
8. The proposed Planned Unit Development project will positively contribute to and not detract from the physical appearance and functional arrangement of development in the area.
 - The amendment would essentially consolidate Buildings T2 and T3 into one and the underground garage entrance would result in a wall approximately where Building T2 was to be constructed. This consolidation is detrimental to within-site circulation unless a pedestrian walkway is provided along the south side of the building to traverse the garage entrance. The new site plan would maintain existing public access to the creek corridor / conservancy on the west and east ends of the property.
9. The proposed Planned Unit Development project will produce significant benefits in terms of environmental design and significant alternative approaches to addressing development performance that relate to and more than compensate for any requested exceptions/base standard modifications variation of any standard or regulation of this Chapter.
 - Although a PUD district can have flexible zoning regulations, staff look to the standard zoning districts for guidance.
 - The approved townhome buildings had lot line **setbacks** that were less than comparable zoning classifications (MR-L or MR-M; Multi-Family Residential-Low Density or -Medium Density), which require a minimum street setback of 15 to 20

feet. The amendment would further reduce these setbacks by about another 3 feet, with the wall alongside the underground garage entrance being constructed along the Clark Street lot line.

- The developer indicates that the GIP amendment would slightly reduce **impervious surface area** from what was originally approved, but it is not clear how this is achieved given that setbacks are being reduced. The new impervious surface area of 72,138 SF would comprise about 85.3% of the original redevelopment site.
- **Off-street parking** would comply—barely—with minimum ordinance requirements, but only with a reallocation of three spaces from the Phase 1 building.

10. For Planned Unit Development projects that are proposed to be developed in phases, the applicant shall provide a timeline for development and shall demonstrate that the project would be successful even if all phases were not or could not be completed.

- Not directly applicable. The original project did not identify a second phase to the development, but the developer is referring to this GIP amendment as Phase 2. There would be no additional phases.

Conclusion

As zoning administrator, I advised the applicant that replacing two townhome-style buildings (containing a total of 14 dwelling units) with one multi-family building necessitated an application to amend the GDP.

Based on city staff analysis of the developer's submittal and review of the previously approved GDP and Specific Implementation Plans, city ordinances, and previous agreements, Planning staff have concluded that it could be feasible and appropriate to amend the GDP to accommodate this development. Although the proposed GDP is consistent with the Future Land Use Map designation of Urban Mixed Use for this site, it would represent a shift from the concept approved when the City selected the developer for this property. It would forego an opportunity to construct more townhouse-style housing in close proximity to the downtown.

Traditional zoning classifications do not distinguish between owner- and renter-occupied housing (zoning regulates the land use and form, not the land user). The applicant voluntarily entered into a Planned Development District (PDD) for this property, which proposed owner-occupied housing.

Middleton has experienced several years of strong demand for apartment units due to a shortage of housing in a metropolitan area experience strong population and economic growth, higher interest rates, and other factors. Given its proximity to downtown Middleton, schools, parks and conservancy land, and the urbanizing Parmenter Street corridor, the site is well situated to support additional housing, whether in the form of townhouse or apartments.

APPENDIX A

Chronology of Previous Actions

5/21/19 Council meeting:

- Approval of Rezoning from B-3 Highway Business to PDD-General Implementation Plan
- Preliminary Plat approved

8/6/19 Council:

- Approval of Letter of Intent leading to sale of property for \$2,630,000.

8/12/19 Public Works Committee:

- Approval of Traffic Impact Analysis report. The report concluded that “The addition of site traffic from the proposed (development) does not have a significant impact on the overall roadway network performance; therefore, additional improvements to the roadway network are not required due to the addition of site traffic.” However, it did recommend removal of on-street parking along Lee Street between Parmenter and Clark Streets.

9/11/19 Council:

- Approval of Tax Increment Development Agreement, City/Developer Agreement, Final Plat with contingencies, and Specific Implementation Plan

2/18/20 Council:

- Approval of First Amendment to Development Agreement. The purpose is to allocate the TIF assistance between the multi-family and townhouse portions of the project.

3/17/20 Council:

- Approval of Collateral Assignments of TIF for the Conservancy Bend Residences and Conservancy Townhomes projects

5/26/20 Plan Commission:

- Discussion of developer request to replace 17 townhomes with a 55-unit apartment building. Commissioners advised the developer of the need to amend the GIP and possibly renegotiate the TIF agreement.

9/8/20 Plan Commission:

- Approval of minor SIP Modification to allow addition of second story balconies and other modifications to Building T2 (adjoining the conservancy)

12/04/20 Building Inspection Dept.

- Full building permit issued for Building T1.

5/4/21 Wisconsin Dept. of Safety and Professional Services

- Approval of developer’s Petition for Variance contingent on the developer implementing various identified strategies as an equivalent level of protection to the intent of the International Building Code. (The developer was granted a variance from the State for the

structure to remain as built and still be acceptable as separate buildings for individual ownership. The petition was necessary because the building was not designed with the fire walls necessary to create individual buildings for individual property lines.)

7/13/21 Plan Commission:

- Approval of minor SIP Modification to allow for design changes related to addition of fire walls in between each unit for Buildings T2 and T3.

1/11/22 Building Inspection Department:

- Final inspections of Building T1 (the five townhouse units).

3/8/22 Plan Commission:

- Public hearing on GIP Amendment to allow for renter-occupied townhomes in addition to owner-occupied (pertaining to the constructed five-unit building).
- Commissioners voted 5-2 to recommend that the Council approve the GIP Amendment to allow renter occupancy of the five built townhomes. (Staff had recommended denial.)
- Appendix B contains full excerpt from meeting minutes.

3/15/22 Council:

- Council voted 7-1 to deny GIP Amendment to allow renter-occupied townhomes.

7/5/22 Status of Building T1:

- AccessDane indicates that Conservancy Townhomes LLC owns all five townhomes. At least two of the units are occupied, according to building inspector observations.

10/24/23 Plan Commission:

- Concept Review of developer request to replace the 14 unbuilt townhomes (Buildings T2 and T3) with one 44-unit apartment building. (Developer filed application on 9/18/23.)
- Summary of commissioner feedback (full excerpt from minutes in the Appendix B):
 - 44-unit building is a little large and bumps up against setbacks for the remaining space; thus, there's a desire to explore concepts showing different housing types.
 - Preference for having townhomes built even if they end up being rented; they could possibly become owner occupied in the future.

5/28/24 Plan Commission:

- Action posted to a future meeting to give the applicant time to propose a revised building design that would adhere more closely to base zoning standards (impervious surface ratio and setbacks), incorporate at least some two-bedroom units, and enable future conversion to condo units.

APPENDIX B

Pertinent Excerpts from Previous Meeting Minutes and related documents

5/26/20 Plan Commission

Item #5: Concept Discussion Replace Townhomes With Apartments - Conservancy Bend Residences, LLC, 2413-2421 Parmenter St. (PC-2565)

Attoun spoke about how the current development plan came to be approved, and she stated that the concept being proposed by T. Wall Enterprises (replacing 17 townhomes with a 55-unit apartment building) would necessitate a General Implementation Plan amendment and possibly renegotiation of the TIF agreement. Terrence Wall spoke about the economic and market factors influencing this potential change in plans as well as the budgetary impact of developing the site separately from the apartments that are underway. He said he's not opposed to proceeding with the townhomes but delaying the project a year increases construction cost.

Paulsen asked how the change in building concept could affect property valuation / tax increment. Wall responded that the TIF numbers would be roughly the same, but he is concerned about the loss of tax increment resulting from a one year delay. Several members also expressed the desire to retain owner-occupied housing in some form. This item was on the agenda for feedback only; no action was taken.

3/8/22 Hearing Notice (excerpt)

An application by **Conservancy Townhomes, LLC (T. Wall Enterprises, LLC)** requesting an amendment to the Planned Development District – General Implementation Plan (PDD-GIP) to allow renter-occupancy of the townhome units. The Planned Development District – General Implementation Plan (PDD-GIP) current allows only owner-occupancy of the townhome units. This request for a PDD-GIP amendment and affects the townhomes located at 2411, 2413, 2415, 2417, 2419, 2431, 2433, 2435, 2437, 2439 Parmenter Street, and 2420, 2422, 2424, 2428, 2440, 2442, 2444, 2446 Clark Street (only 5 townhome units constructed to date). This land is legally described as follows:

Lots 2-20, Conservancy Bend Plat of Lot 1 and Lot 2, Certified Survey Map Number 3799, as recorded in Volume 15 of Certified Survey Maps, on Pages 315-316, as Document Number 1720501, Dane County Registry, located in the NW 1/4 - NE 1/4 of Section 11, Township 07 North, Range 08 East, City of Middleton, Dane County, Wisconsin.

The purpose of the proposed rezoning is to allow for renter-occupancy of 19 townhouses.

03/08/22 Plan Commission**Public Hearing: 7:05pm General Implementation Plan (GIP) Amendment for Rezoning to Allow for Renter Occupied Townhomes in Addition to Owner Occupied – Conservancy Bend, 2411, 2413, 2415, 2417 & 2419 Parmenter St. (PC-2565)**

Mayor Brar opened the public hearing at 7:07pm.

Attoun noted this request is to modify the General Implementation Plan (GIP) to allow for renter-occupancy of the townhome units. The GIP stated the townhome units would be owner-occupied.

There being no members of the public wishing to speak, Mayor Brar closed the public hearing at 7:08pm.

General Implementation Plan (GIP) Amendment for Rezoning to Allow for Renter Occupied Townhomes in Addition to Owner Occupied – Conservancy Bend, 2411, 2413, 2415, 2417, & 2419 Parmenter St. (PC-2565)

Attoun stated that the staff is recommending against the change because it was clear when the Common Council reviewed the project that the owner-occupied component of the project was important. The City has not had a lot of owner-occupied housing options being constructed. This is a focus area of the City Council, and the Workforce Housing Committee has a working group dedicated to identifying opportunities for owner-occupied affordable housing. The applicant has laid out a good case for having marketed the units for 6 months (albeit at a price higher than was previously discussed with Council) and staff notes that there have been substantial cost increases caused by material and labor shortages in part.

Paulsen asked the applicant about the change to the GIP that was originally requested. Taylor Brengel, T. Wall Enterprises, said that the GIP was approved in Spring 2019. When COVID hit at the beginning of construction, the developer requested a change from the 19 townhomes to 50-60 apartments. Brengel said that Plan Commission did not support that change, and so the developer constructed the first townhome building. The applicant has spent significant funds on marketing and setting up the townhome building. They have made every effort to sell the units, but COVID and other factors have impacted the market. They are asking for flexibility in the market, and townhome rentals are not available currently in Middleton so this would offer a new product.

Paulsen said that he will support the change, because he doesn't think the City should differentiate between owner- and renter-occupied housing, but noted that the rezoning will be a tough case at Common Council due to the tax increment financing (TIF) incentive and the City involvement in the project. Brengel stated that the TIF agreement does not require owner occupancy.

Slavish generally agrees with Paulsen and asked if the incremental value would change if the units were changed from owner-occupancy to rental-occupancy. Brengel said this is developer financed TIF and he does not think the incremental value would be reduced. The finishes are upgraded because the developer anticipated owner-occupancy of the units.

Bruce asked if the allowance for renter-occupancy is being requested for all of the units or just the five that have been constructed, and Brengel said they're looking for flexibility for all of the units. Bruce noted that the other two buildings may be more desirable for owner-occupancy due to their locations. Bruce asked if there could be a time limit placed on the rental occupancy, and Brengel said he would not be in favor of that due to concerns of their financial institution. They want the flexibility to react to the market. Bruce has reticence to supporting the change due to the competitive process that the City held. Brengel said that T. Wall was the only request for proposals (RFP) respondent who was willing to pay full price for the property.

Erdmann-Hermans stated that the selling price may be too high for the market. Brengel said they originally projected a lower price, but labor and supply costs have skyrocketed. The townhomes are not profitable. The townhomes were included in order to meet the City's vision for the property. The developer has interest from renters for the units but not from buyers. Erdmann-Hermans is not opposed to renter-occupancy, but will be voting against the proposal due to the process concerns. Ramsey stated that the process was very clear that the Council wanted an owner-occupied component to this project. Ramsey said that the statements being made are not in line with the statements the developer made when they were competing to acquire the property and he will be voting against the GIP amendment. Schaffer said that he doesn't think that it's the City's role to modify the zoning in order to correct for a mistake that was made in market forecasting and he will be voting against the change.

Brengel said he feels that the City is being discriminatory toward the occupants. Schaffer said that this project was promoted to be a mix of renter and owner-occupied housing. Paulsen said that the cost increases for construction have increased 30% in the past two years. It's hard to make that increase up at this price point. He asked whether the HOA documents would prohibit rentals of the units in the future (if sold to other individuals) and Brengel stated that the HOA documents only prohibit short-term rentals.

Mayor Brar asked if the applicant would allow consideration of just having flexibility to rent the five units that are already constructed, and Brengel stated that request was only noticed for the five units.

Erdmann-Hermans said that she is not opposed renters, and she is not being discriminatory in her vote, but rather upholding the Council's intent for the project. She asked whether the project should be reviewed by Workforce Housing Committee. Bruce said he thinks the item should be passed along to the Council to decide because there are financial implications to the developer and to the City. He feels the City needs to be able to rely on the statements made by the developer, especially during a competitive process. He's less concerned about the change if it only applies to the five units that have already been constructed. Slavish reiterated the uptick in construction costs. This is a different world than when the project was initially approved.

Moved by Paulsen, seconded by Slavish, to recommend approval of a General Implementation Plan (GIP) amendment to allow renter-occupancy of the five townhome units.

Bruce and Schaffer asked that it be conveyed to the Common Council that the approval only applies to the five townhomes that have already been constructed.

Motion passed 5-2 (Erdmann-Hermans and Ramsey opposed).

3/15/22 Council meeting

Ordinances - First Reading (Final Action may be taken upon approval of motion to suspend rules under Section 1.07, Middleton Gen. Ords.): An Ordinance to Amend the General Implementation Plan (GIP) for the Conservancy Bend Residences to Allow for Renter-Occupancy of Townhome Units, 2411, 2413, 2415, 2417 & 2419 Parmenter St. (PC-2565)

Moved by Burck, seconded by Fuszard, to deny an Ordinance to Amend the General Implementation Plan (GIP) for the Conservancy Bend Residences to Allow for Renter-Occupancy of Townhome Units, 2411, 2413, 2415, 2417 & 2419 Parmenter St. Motion to Deny Passed. 7-1. (Nelson opposed)

10/24/23 Plan Commission

Item #5: Concept Discussion Replace Townhomes with Apartments - Conservancy Bend Residences, LLC, 2413-2421 Parmenter St. (PC-2565) (PC 05/26/20)

Attoun provided an overview of the request to replace the approved owner-occupied townhomes in the Conservancy Bend development, both a 9-unit building on the north part of the site and a 5-unit building on the east part of the site, with a multi-family rental building instead. This land has already been platted for owner-occupied townhomes and there is an approved Specific Implementation Plan (SIP) in place for this project. There is an approved tax increment financing (TIF) agreement for this development. In order to make this modification, a General Implementation Plan (GIP) amendment, a certified survey map (CSM), and other approvals will be needed. A major engineering concern is that the new building parking ramp entrance is located on top of a water/sewer main. A similar request for concept review previously came before the Plan Commission on 05/26/20, the minutes of that meeting are attached. No action was taken at that time.

Bruce asked how this request relates to a previous request to rent the existing townhome units. Attoun stated that the GIP modification was denied by the council when that request came forward.

Attoun also gave an overview of the history and evolution of the project which included the following:

- The site was previously two office buildings, and the school district was looking to acquire this location as a possible location for an expansion of the high school. When that was no longer a possibility, the City acquired the properties and sent out a request for proposals (RFP) to redevelop the site.
- A key factor in the RFP was for the City to be repaid the full purchase price of the property, \$2.63 million, by the developer.
- One proposal had a lower tax increment financing (TIF) request and a lower up-front purchase price, while the T Wall proposal requested 100% of the TIF increment and agreed to pay the full purchase price of land from the City.

- Both proposals were rejected after much negotiating between multiple parties, and another RFP was sent out requesting sealed proposals in January 2019.
- The number one factor for selecting the T Wall project was the developer's willingness to pay the full purchase price for the land. The second factor was that the proposal included owner-occupied housing (zero-lot line townhomes).
- The City entered into a TIF agreement of \$6.4 million with developer financed assistance - \$4 million for the apartment building and \$2.4 million for the townhomes.
- The City has issued one TIF bond for the apartments, but none for the townhomes. So far, only one of the townhome buildings has been built.
- In May 2020, the developer proposed to change the townhomes into multi-family, renter-occupied townhomes. No action was taken. In March 2022, the developer requested the rent the townhomes that were already built. Council denied the request.

Mayor Kuhn asked how many townhomes have sold. Jake Bunz, on behalf of T Wall, said that the townhomes were listed for about 1-1.5 years, but none of them were sold. The overall cost of the townhomes were higher than expected due to the pandemic, and the price point of the townhomes were not able to meet what the market demanded.

Bunz stated that they will not build the rest of the townhomes since the exiting ones have not sold. Instead, they propose 44 more rental units consisting of studio and one-bedroom units, enabling rental point to be below 80% of county median income and below what they believe a mortgage payment could be. Currently, there is also a difficult lending market right now. They will not lend on townhomes or condos.

Mayor Kuhn asked about the current vacancy rate of the apartments at Conservancy Bend. Bunz replied that building has stayed above 95% occupied since the first 8 months of the building opening.

Bruce asked if they considered redesigning remaining townhouses to be smaller units? He would like to keep the mix of housing types because it was part of the original proposal, and he would like to exhaust all possibilities.

Erdmann-Hermans stated that the proximity to high school seems like a good place to offer family units of two bedrooms, why did they decide to offer only studio and one-bedroom units? Bunz stated that studios get more rent for the space than with two or three bedrooms. The building costs the same to build, but the return is much higher with studio and one-bedrooms. Their experience with Middleton market is that studio and one-bedrooms are quick to rent.

Janaïro was surprised that they received zero offers on top of being unable to sell. She asked if the townhomes are they still on the market. Bunz replied that they are still for sale but not listed on the real estate multiple listing service (MLS).

Erdmann-Hermans stated that the price of the condos when they were listed was much higher than comparable properties. It feels a bit disingenuous to say they are not selling when the units are no longer listed on the MLS. She would like to see the condos work, since the developer

already has the separate lots and begun the building process with the first building. She supports keeping the two-bedroom units but sizing them smaller. Bunz replied that it is nearly impossible to finance condos at the moment.

Janaïro asked why they did not lower the price after having them listed for so long. Janaïro would like to support the decision made by the former council to try to keep these as owner-occupied housing. Kuhn stated that she struggled with selling her townhouse before moving to Middleton. Summers noted that a 2,000 SF townhouse is a generous size, and she would be interested in the developers looking at smaller options. Summers is reluctant to consider backing out of the original approval due to lack of owner-occupied housing in Middleton.

Bunz replied that there is also a lack of rental housing. The proposal presented here is a model they are certain they can build, but with the townhome proposal, the site will sit empty until they can make the financing work.

Erdmann-Hermans asked about the TIF incentives already granted to the developer if the project changes. Attoun stated that the Council would need to revise the TIF agreement with the developer. If the property stays empty, the City would not issue a TIF bond until after the buildings are completed. The property is generating incremental value through the one building completed, but the money stays within the City's TIF account to be used for other projects in the TIF district. The City would not issue a revenue bond and pay out the increment until all three buildings are constructed.

Harp asked if the townhouse lots were already platted. Attoun replied that they were already separated into 19 lots. Harp asked if the remaining property could be sold to another developer and developed into a different apartment building. Attoun replied that they could sell the lots, but the new developer would need to get the lots rezoned. The TIF assistance could also be negotiated between the buyer and seller – if the buyer develops the townhomes to the specifications in the Specific Implementation Plan. Erdmann-Hermans asked when TIF 5 would close. Attoun replied that it goes until 2036.

Harp stated that he does not have an issue with the apartment proposal. He can see the arguments for keeping the original plans as well, but he can see the benefits for the studio and one-bedrooms as well.

Erdmann-Hermans asked if they knew what the rental increase has been for the past several years. She had read that Madison's rental market had been increasing at a rate of 14% compared to the national average of 2%. Bunz did not know off the top of his head, but stated that the reason rents have been increasing is because of a lack of housing. Madison needs about 5,000 units a year to keep up with demand, but local developers can only do about 2,000-2,500 a year. There is a huge deficit in the supply of housing, so by building more units like this project, it will bring the demand back into balance to reduce huge rent increases.

Bruce thanked Bunz for his presentation. He is juggling the history of the previous approval and what obligation the commission and City have to carry it forward. He feels like the 44 units is a little large and bumps up against setbacks for the remaining space, and he would like to see other

concepts explored with different housing types. He is not yet comfortable switching to another plan.

Summers asked if the existing townhomes could be allowed to be rented until the market improves. Attoun stated that they are quite certain that the townhomes are being rented now, without the city's permission. Bruce agreed with Summers that he would prefer that the townhomes be built even if they are rentals, which could possibly become owner occupied in the future. Erdmann-Hermans agrees that even if the buildings constructed are rentals, she is uncomfortable giving up the two-bedroom housing units for families. The plan already proposed two-bedroom units, and any revisions should also include two-bedroom units.

Janairo stated that it seemed like the majority appear to support sticking with original agreement and supporting townhomes at this location. The remark that the site would remain vacant did not seem to be in the spirit of cooperation which was part of this project being undertaken in the first place.

5/28/24 Plan Commission

Public Hearings Item #2: Request to Amend General Development Plan (GDP) -- Conservancy Bend Residences, 2431-2439 Parmenter St. and 2420-2446 Clark St. (PC-2565a)

This hearing pertains to a request by T. Wall Enterprises to amend the GDP to replace two previously approved but unbuilt townhouse-style buildings with one 44-unit apartment building consisting of studio and one-bedroom units and similar in design to the apartment building constructed on the south end of the property.

Chair Janairo opened the hearing at 7:01 p.m. Opitz reported that no statements were received prior to the hearing. There being no one present wishing to speak, Chair Janairo closed the hearing at 7:02 p.m.

Action Item #2: General Development Plan (GDP) Amendment -- Conservancy Bend Residences, 2431-2439 Parmenter St. and 2420-2446 Clark St. (PC-2565a)

Opitz supplemented the staff report with his evaluation of the criteria for approval as listed in Section 10.10.45(3)(e) of the zoning ordinance. Bruce stated that the submittal is basically the same as the developer's previous proposal, about which commissioners expressed concerns. He said it is not clear how the revised project will produce significant benefits pursuant to criterion #9 and noted that the building setback along Clark Street is extremely tight. Opitz noted the proposed building would not comply with setbacks and impervious surface regulations in the standard MR-L or MR-M zoning districts. He added that lot configuration may also be an issue, depending on how the property is re-platted. Adams cited Housing Strategy #5 in the City's Comprehensive Plan as the main sticking point, noting that approving the GDP amendment would be missing a great opportunity to build owner-occupied, "missing middle" housing. He pointed out that it is difficult for a family to reside in studio or one-bedroom dwelling units. Summers said she agreed wholeheartedly agreed with Adams while noting that the construction of two-bedroom

townhomes at a higher price point is also stretching the definition of missing-middle housing. Harp stated he feels on the fence but could see himself supporting the amendment.

Janairo stated she is not opposed to apartments but is concerned about the developer not following through on the commitment to build the remainder of the townhomes. She feels that, given the area's housing crunch, it is unfathomable that there isn't demand for buying townhomes. Janairo would prefer to see smaller, more affordable townhomes constructed, and she is wary that the apartments now being proposed would result in the monthly rents as listed in the developer's submittal. She asked whether the City would require the apartments to be affordable and have two-bedroom units, and could the building be reconfigured to be four stories that comply with setback regulations.

Jake Bunz (T. Wall Enterprises) stated that a four-story building would necessitate a second level of parking, but they would be willing to consider incorporating two-bedroom units into the building. Attoun advised not moving forward with requiring an income restriction for 80% CMI (county median income) rent limits for the following reasons:

- Reporting and compliance aspects are challenging to administer.
- City would not have any recourse if the developer did not comply with income restrictions.
- T. Wall Enterprises does strictly market-rate housing; they do not specialize in the affordable housing market.

Bunz responded to a question by Bruce that they hadn't done any "deep dives" into exploring other options since the previous meeting. He recounted impediments they encountered with construction of Building T1, stating that unit costs rose to the point where people weren't interested in buying them. Hence, they are reluctant to proceed with the other two townhome buildings.

Moved by Bruce, seconded by Janairo, to refer this application to a future meeting to give the applicant time to reconsider the proposed amendment and bring it back for further consideration.

Moved by Bruce, seconded by Summers, to amend the motion by asking the developer to propose a revised building design that would adhere more closely to base zoning standards (impervious surface ratio and setbacks), incorporate at least some two-bedroom units, and enable future conversion to condo units. **Motion on the amendment passed 5-0.**

As amended, the main motion now reads: To refer this application to a future meeting to give the applicant time to propose a revised building design that would adhere more closely to base zoning standards (impervious surface ratio and setbacks), incorporate at least some two-bedroom units, and enable future conversion to condo units. At that time, the commission would be willing to give the amendment further consideration. **The main motion as amended passed 5-0.**

Attoun noted that such a revised development concept would likely require a new public hearing.



T. Wall Enterprises

July 2, 2024

City of Middleton
7426 Hubbard Ave
Middleton, WI 53562

Re: Conservancy Bend Residences Phase 2 – GDP Amendment

Introduction

Conservancy Bend Residences, LLC is seeking a GDP amendment for Phase 2 of development. This 2nd phase consists of a 44-unit or 50-unit apartment building located adjacent the current Conservancy Bend apartments and townhomes. Based on feedback from the Plan Commission at the May 28th meeting, we have revised development plans to produce a second building option.

Overview

During the May 28th Plan Commission meeting, the feedback we received regarding the development was:

1. Incorporate some two-bedroom units.
2. Enable future conversion to condo units.
3. Design the building to adhere more closely with base zoning standards (impervious surface area and setbacks).

Based on this feedback, we are proposing two development options.

Option 1 remains the same as the original proposal: 44 units (30 studio and 14 one-bedroom units), 31 underground parking stalls, and 10 surface parking stalls.

Option 2 incorporates some of the feedback listed above from the May 28th Plan Commission meeting. Option 2 is a 50-unit building (30 studio, 11 one-bedroom, 3 one-bedroom plus den, and **6 two-bedroom units**) with 31 underground parking stalls and 10 surface parking stalls.

Option 2's setbacks and impervious surface area comply with the approved PDD/GIP. The setbacks were not reduced so that the building could maintain more, larger, condo-grade units that would have the ability to be converted in the future.

Recall that the original design of the site was for owner occupied townhomes, the approved, original setbacks were designed to accommodate larger units that the resident



T. Wall Enterprises

would own. These setbacks allow for larger, condo-grade units in an apartment building design as well.

By reducing these setbacks to MR-M standards, the building could potentially lose up to 6 units and reduce the average unit size (sq ft).

Using the existing setbacks equals larger square footage for each unit and more overall units to combat the housing shortage existing Middleton.

Rent vs Own

As mentioned previously, Phase 2's apartment units are expected to be more affordable than a mortgage payment on a townhome.

Given the current high interest rates, the average monthly rent residents would be paying would be 6%-22% lower than a resident's mortgage payment (per bedroom) if they had purchased a townhome.

Townhomes	Apartments	
Monthly Mortgage Payment (per bedroom)	Monthly Rent Payment (Studio)	Monthly Rent Payment (1 BR)
2,153	1,565	1,900

In addition, 66% of the units (30 studio units) proposed rents would be less than the 80% CMI (county median income) rent limits. Thus, providing affordable studio units for the city of Middleton residents.

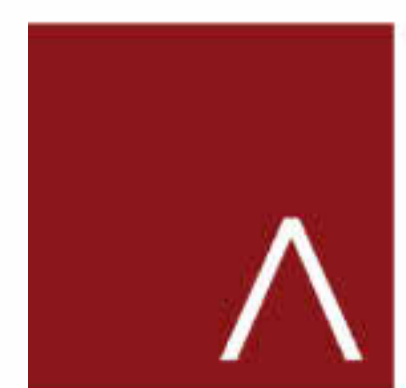
Proposed Monthly Studio Unit Rent	Dane County 80% CMI Rents
1,565	1,565

Closing

Thank you for your time and consideration reviewing Conservancy Bend Residences Phase 2.

Conservancy Bend Residences, LLC

By: _____
Jake Bunz, Development Manager



CONSERVANCY BEND RESIDENCES – BUILDING A1 DATA												
LEVEL	UNITS							PARKING PROVIDED				
	STUDIO	1 BR	1BR+	2BR	3BR	TOTAL	BR'S	COVERED	SURFACE	TOTALS	RATIOS	
4	10	7	0	4	2	23	31					
3	10	7	0	4	2	23	31					
2	10	7	0	4	2	23	31					
1	5	7	0	4	2	18	26	69	22			
T.	35	28	0	16	8	87	119	69	22	91	1.04 / U	0.76 / BR
	40.2%	32.2%	0%	18.4%	9.2%							

PROPOSED MULTIFAMILY DEVELOPMENT – BUILDING A2 DATA												
LEVEL	UNITS							PARKING PROVIDED				
	STUDIO	1 BR	1BR+	2BR	3BR	TOTAL	BR'S	COVERED	SURFACE	TOTALS	RATIOS	
3	10	5	0	0	0	15	15					
2	10	5	0	0	0	15	15					
1	10	4	0	0	0	14	14	31	10			
T.	30	14	0	0	0	44	44	31	10	41	.93 / U	.93 / BR
	68%	32%	0%	0%	0%							

CONSERVANCY BEND TOWNHOMES – BUILDING T1 DATA												
BLDG	UNITS							PARKING PROVIDED				
	STUDIO	1 BR	1BR+	2BR	3BR	TOTAL	BR'S	COVERED	SURFACE	TOTALS	RATIOS	
T1	0	0	0	5	0			7	7			
T.	0	0	0	5	0	5	10	7	7	14	2.80 / U	1.40 / BR
	0%	0%	0%	100.0%	0%							

BUILDING AREA			
LEVEL	BUILDING		
	A1	A2	T1
4	21,200	–	–
3	21,300	10,522	3900
2	21,300	10,522	3900
1	21,200	10,522	3750
LL	26,100	13,260	–
T.	111,100	44,826	11,550

GRAND TOTALS	65	42	0	21	8	136	173	107	39	146	1.07/ U	0.84/ BR
	48%	31%	0%	15.0%	6%							

CONSERVANCY TOWNHOMES &
CONSERVANCY BEND APARTMENTS

BUILDING DATA TABLE – (TOWNHOMES, 3-STORY & 4-STORY MULTIFAMILY BUILDINGS)

CONSERVANCY BEND APARTMENTS

March 29, 2024



UNIT NAME		STUDIO		1 BEDROOM						(1) TOTAL UNITS	(1) TOTAL BEDROOMS	RESIDENTIAL NET AREA LEASABLE	(3) GROSS AREA (S.F.)	EFFICIENCY	PARKING AREA (S.F.)	COVERED PARKING	SURFACE PARKING	PARKING RATIO										
		A1	A2	B1	B2	B3	B4	B5	B6																			
BEDROOMS		1	1	1	1	1	1	1	1																			
AREA (S.F.)		463	488	765	719	947	941	706	890																			
FLOORS	3	4	6	2	1	1	1	0	0	15	15	8,917	10,522	84.7%														
	2	4	6	2	1	1	1	0	0	15	15	8,917	10,522	84.7%														
	1	4	6	1	0	1	0	1	1	14	14	7,382	10,522	70.2%														
	LL											-			13,260	31	10	PER UNIT	PER BR									
TOTALS		12	18	5	2	3	2	1	1	44	44	25,216	31,566	79.9%	13,260	31	10	0.93	0.93									
PERCENT		27.3%	40.9%	11.4%	4.5%	6.8%	4.5%	2.3%	2.3%	573 Average N.S.F. per unit										428 Average S.F. per space								
		68.2%		31.8%																								

NOTES:

- 1 1st FLOOR CONTAINS THE MAIN ENTRY LOBBY.
- 2 PARKING AREAS INCLUDE THE STAIRS & ELEVATOR.
- 3 GROSS AREA DOES NOT INCLUDE PARKING AREAS.

LOTS 7-20 AND PARTS OF OUTLOT 1 AND LOT 1 TO BE COMBINED IN A CSM TO CREATE A NEW LOT FOR THIS DEVELOPMENT. NEW SHARED ACCESS, MAINTENANCE, PUBLIC UTILITY, AND PARKING EASEMENTS WILL NEED TO BE CREATED AND EXISTING AGREEMENTS RELEASED.

ELECTRIC BOX AND COMMUNICATION PEDESTAL IN THIS AREA TO BE RELOCATED.

EXISTING
BUILDING "T1"
3,694 SQ.FT.

LOT 3

EXISTING 20.

PROJECT LOCATION.
EXISTING AND
LOCATION.

UNDERGROUND STORMWATER
MANAGEMENT FACILITY.

1 NEW 30-FOOT WIDE
UTILITY EASEMENT

EXISTING
BUILDING "A1"
21,208 SQ.FT.

PRIVATE STOOPS WITH PRIVACY FENCING. SEE ARCHITECTURAL PLANS FOR DETAIL. TYP.

PROPOSED
BUILDING "A2"
FIRST FLOOR: 10,680 SQ.FT.
BASEMENT FLOOR: 13,860 SQ.FT.

BUILDING FOOTPRINT SHOWN BASED ON ARCHITECTURAL FLOOR PLAN AS PROVIDED TO WYSER ENGINEERING. THIS DRAWING SHOULD NOT BE USED FOR CONSTRUCTION LAYOUT UNTIL FOUNDATION IS VERIFIED BY FINAL STRUCTURAL PLANS. THIS IS THE RESPONSIBILITY OF THE CONTRACTOR.

- ADA RAMP, 12:1 MAXIMUM
SLOPE. INSTALL DETECTOR

- ADA RAMP, 12:1 MAXIMUM
SLOPE. INSTALL DETECTOR

INTERNAL _____
DUMPSTERINTERNAL _____
DUMPSTERINTERNAL _____
DUMPSTER

PAVEMENT REPLACEMENT
FOR UTILITY CONSTRUCTION
PER THE CITY OF MIDDLETON
REQUIREMENTS.

PAVEMENT REPLACEMENT
FOR UTILITY CONSTRUCTION
PER THE CITY OF MIDDLETON
REQUIREMENTS.

— REPLACE A PORTION OF THE COMMERCIAL ENTRANCE PER THE CITY OF MIDDLETON REQUIREMENTS.

PAVEMENT REPLACEMENT
FOR UTILITY CONSTRUCTION
PER THE CITY OF MIDDLETON
REQUIREMENTS.



1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. THE CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCREPANCY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MIDDELTON STANDARD SPECIFICATIONS.

SITE ADDRESS: 2431-2439 PARMENTER STREET AND 2420-2446 CLARK STREET
 SITE DESCRIPTION: ENTIRE CONSERVANCY BEND PLAT; 84.605 SQ. FT. (1.94 AC)
 LOTS 7-20 AND PART OF OUTLOT 1 AND LOT 1 OF CONSERVANCY
 BEND PLAT AS COMBINED INTO 1 LOT OF CSM _____;
 USE OF PROPERTY: COMMERCIAL
 ZONING:
 EXISTING: SPECIFIC IMPLEMENTATION PLAN (SIP)
 PROPOSED: SPECIFIC IMPLEMENTATION PLAN (SIP)

SETBACKS FOR PROPOSED IMPROVEMENT AREA ONLY:
 ORIGINAL SIP:
 PARAMETER ROW: 7.0- FEET
 CLARK ROW: 6.3- FEET
 PROPOSED SIP:
 PARAMETER ROW: 8.4- FEET
 CLARK ROW: 4.8- FEET
 NORTH LOT: 7.0- FEET

NUMBER OF UNITS: 44 (44 BEDROOMS)

TOTAL NUMBER OF PARKING STALLS DEDICATED TO THIS DEVELOPMENT
 PHASE - BUILDING "A2": 41
 BELOW GRADE PARKING: 31 (2 ADA)
 SURFACE PARKING: 39 (2 ADA)
 10 STALLS DEDICATED TO THIS DEVELOPMENT LOT
 22 STALLS DEDICATED TO EXISTING "A1" BUILDING
 7 STALLS DEDICATED TO EXISTING "T1" BUILDING

TOTAL NUMBER OF BIKE STALLS: 48

EXISTING IMPERVIOUS SURFACE AREA: 3,500 SQ.FT.
ROOFTOP: 0 SQ.FT.
PAVED: 3,500 SQ.FT.

NEW IMPERVIOUS SURFACE AREA:
ROOFTOP: 15,500 SQ.FT.
ADDITION: 2,000 SQ.FT.
PAVED: 31,500 SQ.FT.
FUTURE: 2,950 SQ.FT.

DISTURBANCE LIMITS: 90,000 SQ. FT.
IMPERVIOUS SURFACE AREA WITHIN DISTURBANCE LIMITS: 51,950 SQ.FT.
PERCENT IMPERVIOUS WITHIN DISTURBANCE LIMITS: 39.8%

CONSERVANCY BEND APARTMENTS
PHASE II

CITY OF MIDDLETON, DANE COUNTY, WI

CLARK STREET
MIDDLETON, WI 53562

[illegible]

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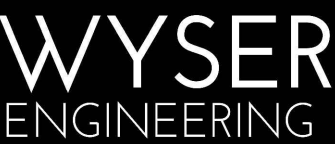
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1. ALL GRADES SHOWN ARE FINAL FINISHED SURFACE GRADES.
2. AREAS TO BE SEDED SHALL HAVE A MINIMUM 6 INCHES TOPSOIL, UNLESS OTHERWISE NOTED.
3. AREAS NOT RESTORED WITH EROSION MATTING OR OTHER STABILIZATION MEASURES SHALL BE STABILIZED WITH MULCH.
4. APPLY ANIONIC POLYMER TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
5. MULCH SHALL BE WOOD-FREE STRAW AND SHALL BE INSTALLED AT THE RATE OF 2 TONS PER ACRE PER SECTION 627 OF "STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION" (WISDOT 2014)
6. PERMANENT SEEDING SHALL NOT OCCUR BETWEEN SEPTEMBER 15TH AND APRIL 15TH. ALTERNATE SEEDING/PLANTING METHODS AND/OR EROSION PROTECTION MAY BE NECESSARY FOR SEEDING/PLANTING THAT OCCURS DURING THAT TIME. COORDINATE WITH THE OWNER AS NECESSARY.
7. TEMPORARY STABILIZATION SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING OPTIONS:
 - a. TEMPORARY SEEDING CONSISTING OF ANNUAL RYE GRASS APPLIED AT A RATE OF 1.5 LBS PER 1000 SQUARE FEET,
 - b. WISDOT PAL CLASS 1 TYPE B URBAN EROSION CONTROL MAT.

-
- A cross-section diagram of a road and drainage system. From top to bottom, the layers and structures are: PROPERTY BOUNDARY (indicated by a dashed line), EASEMENT (indicated by a dashed line), BUILDING FOOTPRINT (a thick black rectangle), 24" CURB AND GUTTER (a thick grey rectangle), ASPHALT PAVEMENT (a thick grey rectangle), CONCRETE PAVEMENT (a thick grey rectangle), PROPOSED MAJOR CON (a thick grey rectangle), PROPOSED MINOR CON (a thick grey rectangle), PROPOSED STORM SEW (a thick grey rectangle), SILT FENCE (a thick grey rectangle), INLET PROTECTION (a thick grey rectangle), and DITCH CHECK (a thick black rectangle). The diagram also shows a green line labeled 'STM' and a blue line labeled '1180' and '1181'.

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS, CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONSTRUCTIONS, WORK IN ROW, PUBLIC OUTLETS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MIDDLETON STANDARD SPECIFICATIONS.

1. POST BOND CERTIFICATE OF PERMIT COVERAGE AND MUNICIPAL EROSION CONTROL. PERMITS ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. ENGINEER / CITY OF MIDDLETON / DANE COUNTY LAND CONSERVATION / WDNR HAS THE RIGHT TO REQUIRE CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION CONTROL MEASURES AS NECESSARY. CONTRACTOR MUST NOTIFY THE CITY OF MADISON BUILDING INSPECTOR TO SCHEDULE A PRECONSTRUCTION MEETING A MINIMUM OF TWO (2) WORKING DAYS IN ADVANCE OF ANY SOIL DISTURBANCE ACTIVITIES.
4. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE WDNR AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
5. THE SITE CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
6. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
7. WHEN POSSIBLE: PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
8. REFER TO THE WDNR STORMWATER STANDARDS/CONST. STANDARDS COMPANION (http://dnr.wi.gov/topic/stormwater/standards/const_standards.html).
9. INSTALL PERIMETER EROSION CONTROL AND ROCK TRACKING PAD CONSTRUCTION ENTRANCE(S) PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD STONE TRACKING PAD AND TIRE WASHING #1057 FOR ROCK CONSTRUCTION ENTRANCES(S).
10. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060 AND DANE COUNTY REQUIREMENTS FOR FRAMED INLET PROTECTION.
11. CONTRACTOR TO PROVIDE SLOD LID OR METAL PLATE ON ALL OPEN MANHOLES DURING CONSTRUCTION TO MINIMIZE SEDIMENT FROM ENTERING THE STORM SEWER SYSTEM.
12. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
13. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 10 GPM OR MORE.
14. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DE-WATERING #1061.
15. INSTALL AND MAINTAIN SILT FENCING PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
16. REPAIR BARRIERS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
17. INSTALL AND MAINTAIN FILLER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
18. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL. IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
19. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND NOVEMBER 15 STABILIZE WITH MULCH, TACKIFIER, OR A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
20. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
21. SWEEP/CLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE AUTHORITIES WITH JURISDICTION. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSED OF APPROPRIATELY.
22. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1066.
23. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
24. COORDINATE WITH THE AUTHORITIES WITH JURISDICTION TO UPDATE THE LAND DISTURBANCE PERMIT TO INCLUDE THE ANTICIPATED OR LIKELY DISPOSAL LOCATIONS FOR ANY EXCAVATED SOILS OR CONSTRUCTION DEBRIS THAT WILL BE HAULED OFF-SITE FOR DISPOSAL. THE DEPOSITED OR STOCKPILED MATERIAL NEEDS TO INCLUDE PERIMETER SEDIMENT CONTROL MEASURES (SUCH AS SILT FENCE, HAY BALES, FILTER SOCKS, OR COMPACTED EARTHEN BERMS).
25. FOR NON-CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES, PROVIDE CLASS CLASS I TYPE B EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1062.
26. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS, PROVIDE CLASS II TYPE B EROSION CONTROL MATTING UNLESS OTHERWISE SPECIFIED ON THE PLAN. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1063.
27. MAKE PROVISIONS FOR WATERING DURING THE FIRST 3 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCURS.
28. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE WDNR REMEDIATION AND WASTE MANAGEMENT REQUIREMENTS FOR HANDLING AND DISPOSING OF CONTAMINATED MATERIALS. SITE-SPECIFIC INFORMATION FOR AREAS WITH KNOWN OR SUSPECTED SOIL OR GROUNDWATER CONTAMINATION CAN BE FOUND ON WDNR'S BUREAU OF REMEDIATION AND REDEVELOPMENT RACKING SYSTEM (BRRTS) PUBLIC DATABASE AT: <http://dnr.wi.gov/bawt/>
29. INSTALL AND MAINTAIN A CONCRETE WASHOUT BASIN PER EPA 833-F-11-006: (<https://wwww2.epa.gov/nrdes/pubs/concretewashoutpdf>) REQUIRE USE BY ALL CONCRETE CONTRACTORS. LIPA MAY BE REUSED IN CONCRETE MIXING, EVAPORATION, OR DISPOSED OF AS WASTEWATER.

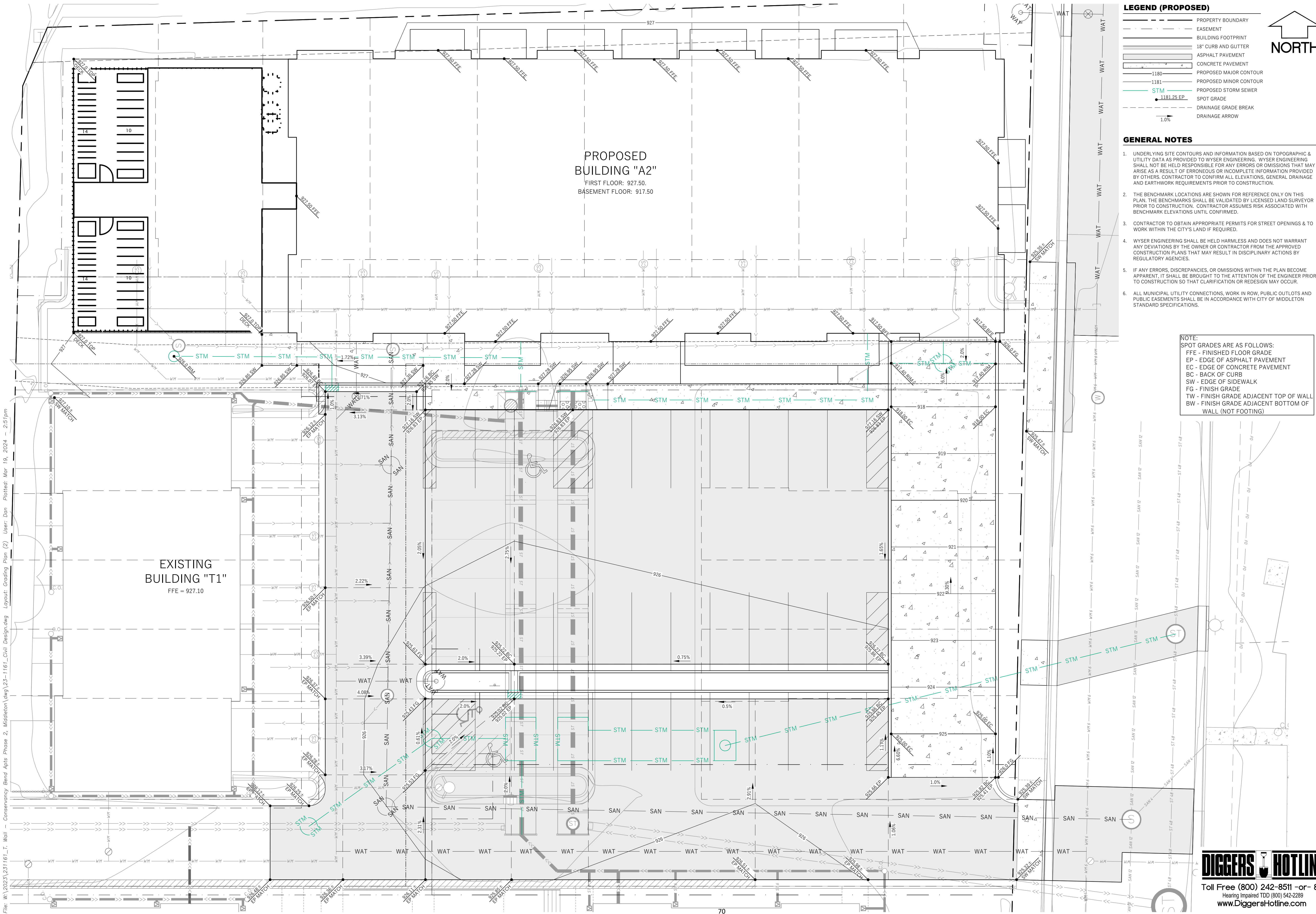


CITY OF MIDDLETON, DANE COUNTY, WI

Sheet Title: GRADING & EROSION CONTROL PLAN

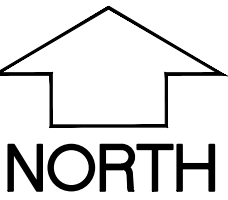
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LEGEND (PROPOSED)

- PROPERTY BOUNDARY
- EASEMENT
- BUILDING FOOTPRINT
- 18" CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- 1180 PROPOSED MAJOR CONTOUR
- 1181 PROPOSED MINOR CONTOUR
- STM PROPOSED STORM SEWER
- 1181.25 EP SPOT GRADE
- DRAINAGE GRADE BREAK
- DRAINAGE ARROW



GENERAL NOTES

- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS PROVIDED TO WYSER ENGINEERING. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE BENCHMARKS SHALL BE VALIDATED BY LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK ELEVATIONS UNTIL CONFIRMED.
- CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
- WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MIDDLETON STANDARD SPECIFICATIONS.

NOTE:
SPOT GRADES ARE AS FOLLOWS:
FFE - FINISHED FLOOR GRADE
EP - EDGE OF ASPHALT PAVEMENT
EC - EDGE OF CONCRETE PAVEMENT
BC - BACK OF CURB
SW - EDGE OF SIDEWALK
FG - FINISH GRADE
TW - FINISH GRADE ADJACENT TOP OF WALL
BW - FINISH GRADE ADJACENT BOTTOM OF WALL (NOT FOOTING)

CONSERVANCY BEND APARTMENTS
PHASE II

CITY OF MIDDLETON, DANE COUNTY, WI

CLARK STREET
MIDDLETON, WI 53562

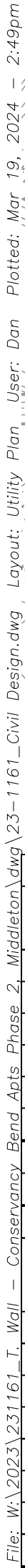
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DETAILED GRADING PLAN

Revisions:

No.	Date:	Description:

Graphic Scale	0' 5' 10' 15'
Wysen Number	23-1161
Set Type	SIP REVIEW
Date Issued	03/19/2024
Sheet Number	C201

DIGGERS HOTLINE
Toll Free (800) 242-8511 -or- 811
Hearing Impaired TDD (800) 542-2289
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(1) NOTE: CURB INLET RIM ELEVATION IS TO FLAG OF CURB. ADD 0.44- FEET TO GET TO BACK OF CURB

(2) NOTE: STRUCTURE REQUIRES OIL AND GREASE INLET FILTER, FLOGARD PLUS OR EQUAL.

PROPOSED STORM SEWER / CULVERT PIPE SCHEDULE										
PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEV. (FT)	DISCHARGE ELEV. (FT)	SLOPE (%)	PIPE SIZE & TYPE	MANNING'S NUMBER	DESIGN RUNOFF (GPM)	PIPE CAPACITY (GPM)
P - 1	STM MH NO. 1	EX PIPE	107	918.86	918.00	0.81%	18" RCP	0.013	2755.82	4231.52
P - 2	STM MH NO. 3	UNDERGROUND	17	920.60	920.51	0.50%	12" RCP	0.013	1131.05	1130.73
P - 3	STM MH NO. 4	STM MH NO. 3	35	920.77	920.60	0.50%	12" RCP	0.013	1131.05	1130.73
P - 4	ROOF DRAIN	UNDERGROUND	10	920.28	919.86	4.00%	8" HDPE	0.012	646.84	1175.14
P - 5	STM INL NO. 5	P - 4	80	921.81	920.21	2.00%	6" HDPE	0.012	135.47	385.84
P - 6	STM INL NO. 6	P - 5	7	921.22	921.08	2.00%	6" HDPE	0.012	125.75	385.84
P - 7	ROOF DRAIN	UNDERGROUND	79	921.43	919.86	2.00%	8" HDPE	0.012	453.93	830.95
P - 8	EX PIPE	UNDERGROUND	17	919.86	919.67	1.10%	8" PVC	0.010	740.57	739.50

(1) NOTE: CURB INLET RIM ELEVATION IS TO FLAG OF CURB. ADD 0.44- FEET TO GET TO BACK OF CURB

(2) NOTE: STRUCTURE REQUIRES OIL AND GREASE INLET FILTER, FLOGARD PLUS OR EQUAL.

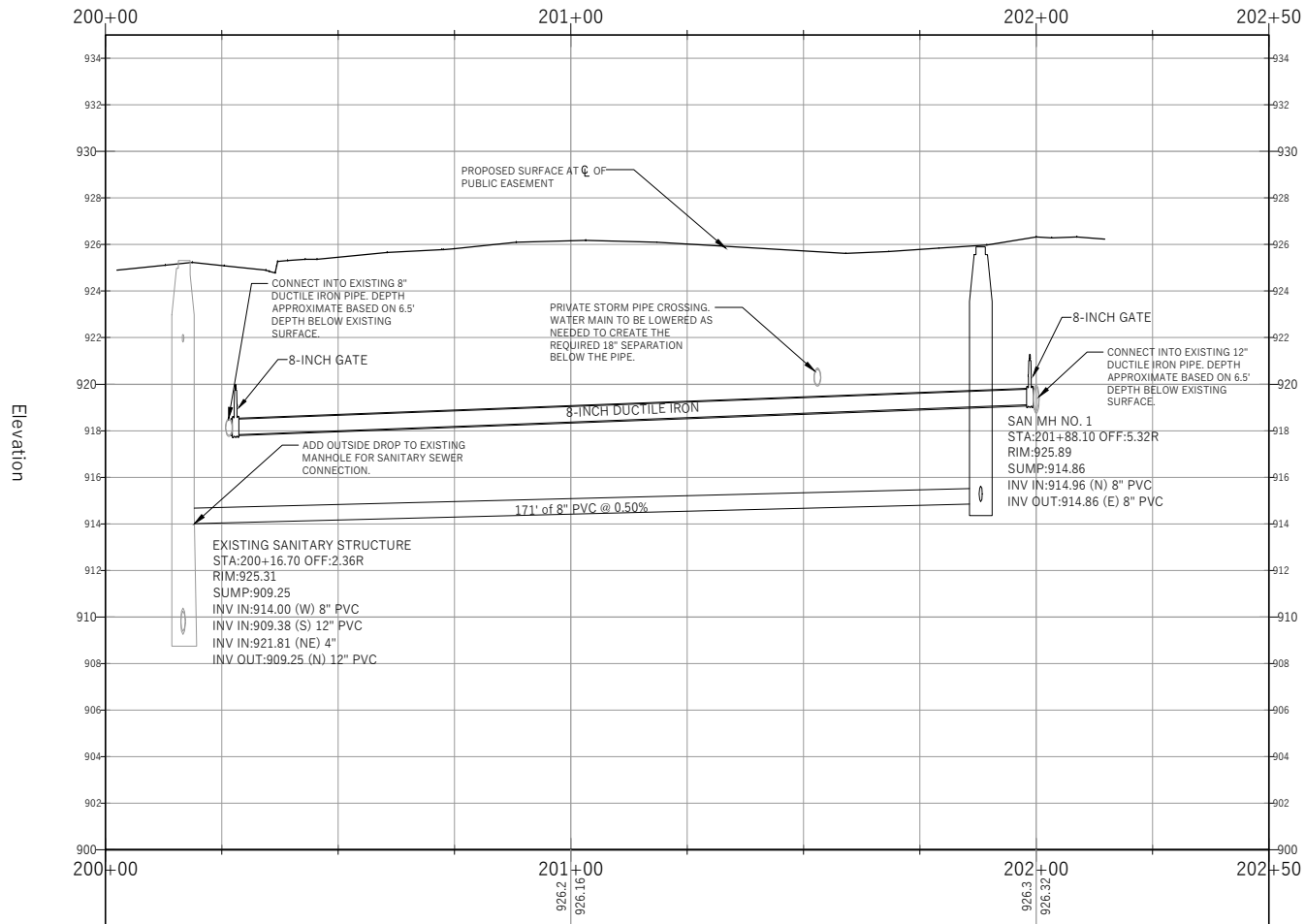
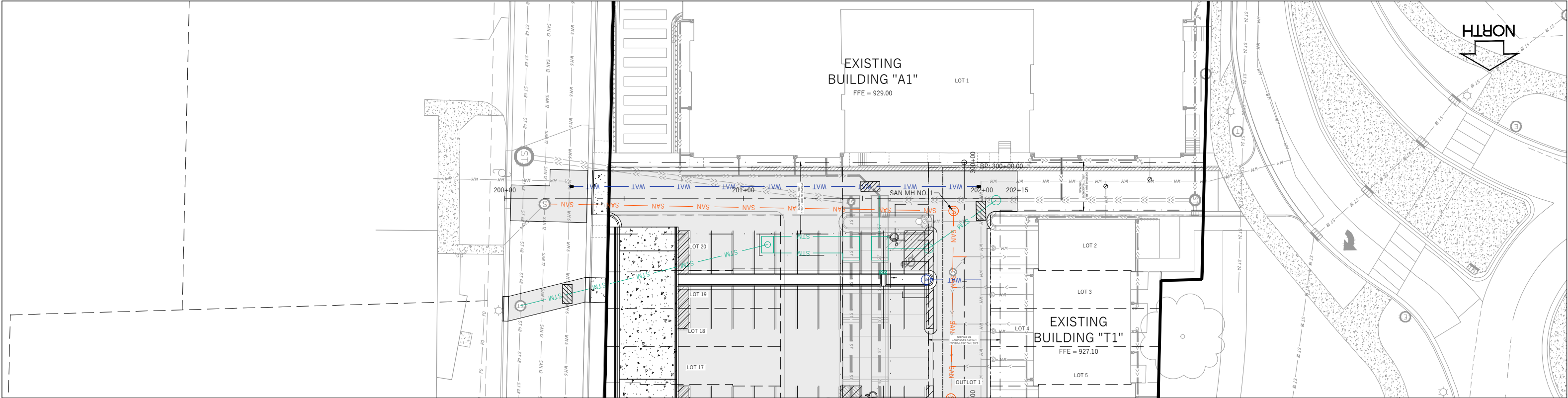
GENERAL NOTES

- ## UTILITY NOTES

1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
2. LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY ALL ELEVATIONS, LOCATIONS, AND SIZES OF SANITARY, WATER AND STORM LATERALS AND CHECK ALL UTILITY CROSSLINGS FOR CONFLICTS.
4. THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WISDOT, WISDPS, AND WDNR.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITES CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMITS, COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
9. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
10. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE. NO BLASTING IS ALLOWED WITHIN 30 FEET OF EXISTING UTILITIES.
11. ALL PRIVATE INTERCEPTOR WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM BURRY. PROVIDE INSULATION ABOVE PIPES WITH LESS THAN 5" OF GROUND COVER
12. GRANULAR BACKFILL MATERIALS ARE REQUIRED IN ALL UTILITY TRENCHES UNDER SIDEWALKS AND PROPOSED PAVED AREAS UNLESS OTHERWISE SPECIFIED BY A GEOTECHNICAL ENGINEER. ALL UTILITY TRENCH BACKFILL SHALL BE COMPACTED PER SPECIFICATIONS. ALL PAVEMENT PATCHING SHALL COMPLY WITH THE CITY OF MIDDLETON STANDARD SPECIFICATIONS. ADDITIONAL PAVEMENT MILLING AND OVERLAY MAY BE REQUIRED BY PERMIT.
13. CONTRACTOR SHALL NOTIFY THE MUNICIPAL PUBLIC WORKS DEPARTMENT A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES.
14. ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE ACCOMPANIED BY MEANS OF LOCATING UNDERGROUND PIPE. TRACER WIRE VALVE BOXES SHALL BE INSTALLED ON ALL LATERALS AND AS INDICATED ON THESE PLANS.
15. ALL EXTERIOR CLEANOUTS SHALL BE PROVIDED WITH A FROST FREEZE IN ACCORDANCE WITH SPS 382.34(5)(a) AND SPS 384.30(2)(c).
16. ALL PRIVATE PLUMBING MATERIALS SHALL CONFORM TO SPS 384.30.
17. ALL PRIVATE PIPE JOINTS SHALL BE INSTALLED PER SPS 384.40.
18. ALL PRIVATE WATER PIPE, INCLUDING DEPTH AND SERRATION REQUIREMENTS, SHALL BE IN ACCORDANCE WITH SPS 382.40(8).
19. THE CONTRACTOR SHALL ALLOW 10 WORKING DAYS FOR THE CONSTRUCTION OF GAS MAINS WITHIN OF THE WORK AND SHALL NOT RESTRICT ACCESS TO THE GAS MAIN CONTRACTOR OR OTHER UTILITY COMPANIES.
20. THE CURB INLETS SHALL HAVE A CATCH-ALL HR-I OIL AND GREASE FILTER OR APPROVED EQUIVALENT INSTALLED WITHIN THEM.
21. CONTRACTOR SHALL VERIFY AND COORDINATE ALL UTILITY CONNECTIONS WITH THE BUILDING PRIOR TO CONSTRUCTION.
22. THE CONTRACTOR SHALL CONDUCT HIS OPERATIONS SO AS TO BE IN CONFORMANCE WITH THE CITY EROSION CONTROL AND STORMWATER ORDINANCE, AND DNR ADMINISTRATIVE RULE NR 216 AT ALL TIMES.

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CONSERVANCY BEND - PHASE II

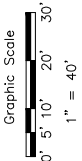
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UTILITY PLAN AND PROFILE

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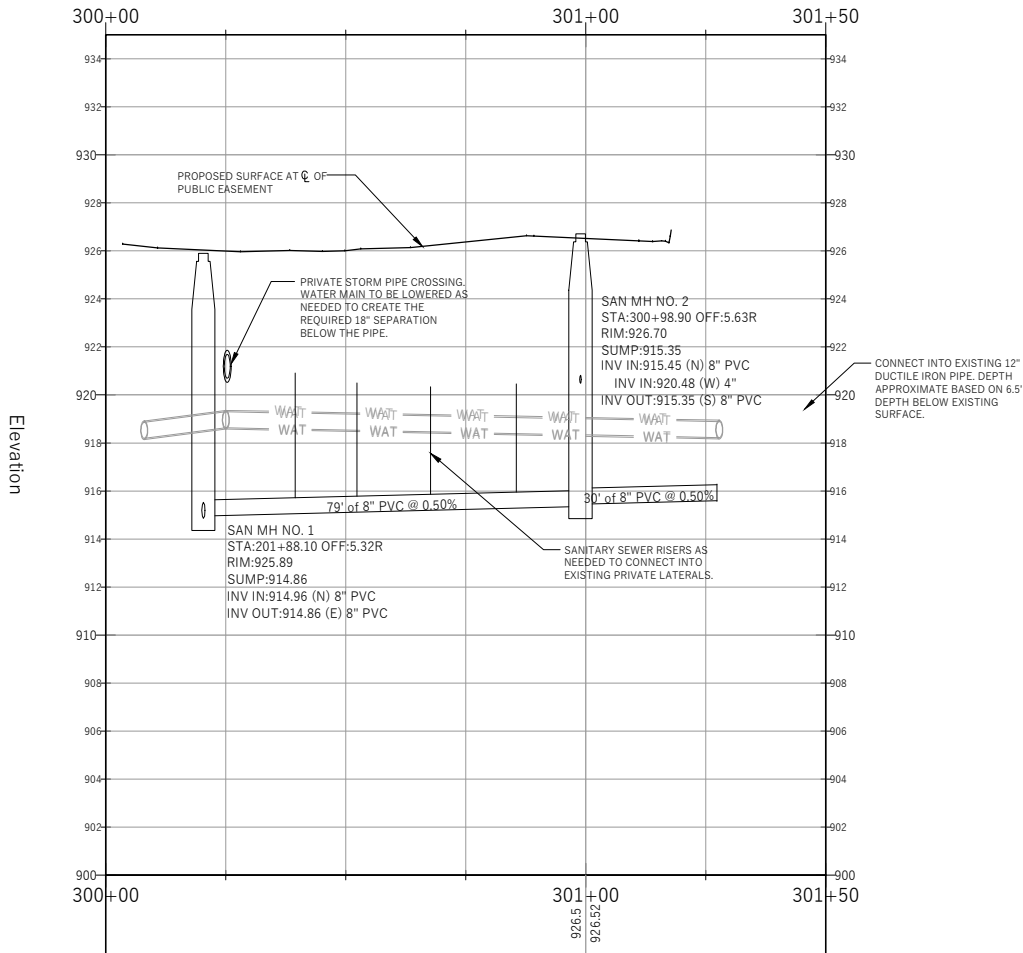
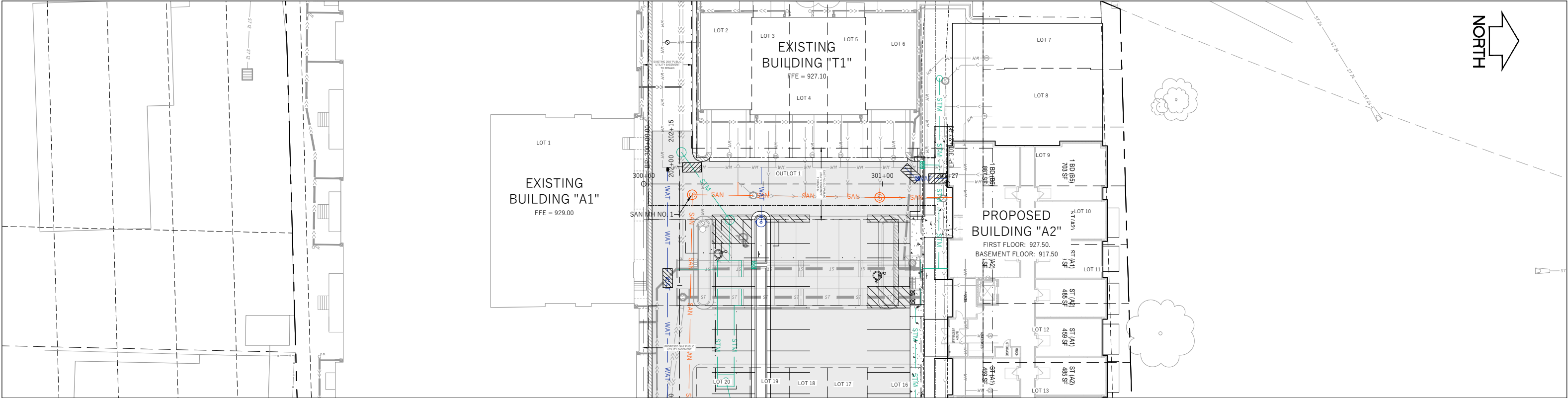
CLARK STREET
MIDDLETON, WI 53562



Revisions:		Date:		Description:	
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Date Issued	03/09/2024
Sheet Number	Page 33 of 63 P-1

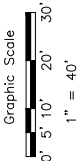
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CONSERVANCY BEND - PHASE II
CITY OF MIDDLETON, DANE COUNTY, WI

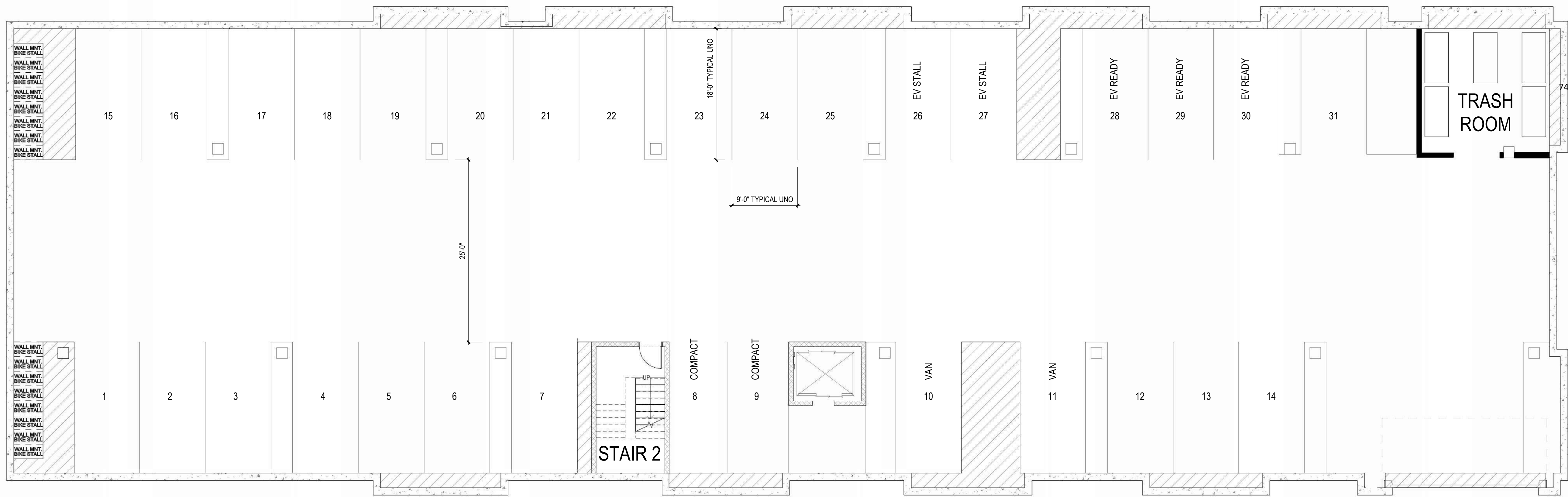
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UTILITY PLAN AND PROFILE
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CLARK STREET
MIDDLETON, WI 53562

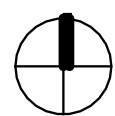


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Set Type	SIP REVIEW
Date Issued	03/09/2024
Sheet Number	Page 34 of 63 P-2



1 LOWER LEVEL PLAN
1/8" = 1'-0"



JLA
ARCHITECTS
MADISON | MILWAUKEE | DENVER
JLA-AP.COM

JLA PROJECT NUMBER: 220303



T. Wall Enterprises
Development, LLC

CONSERVANCY BEND APARTMENTS

SIP SUBMISSION PLAN-SET

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DATE OF ISSUANCE 04/05/24

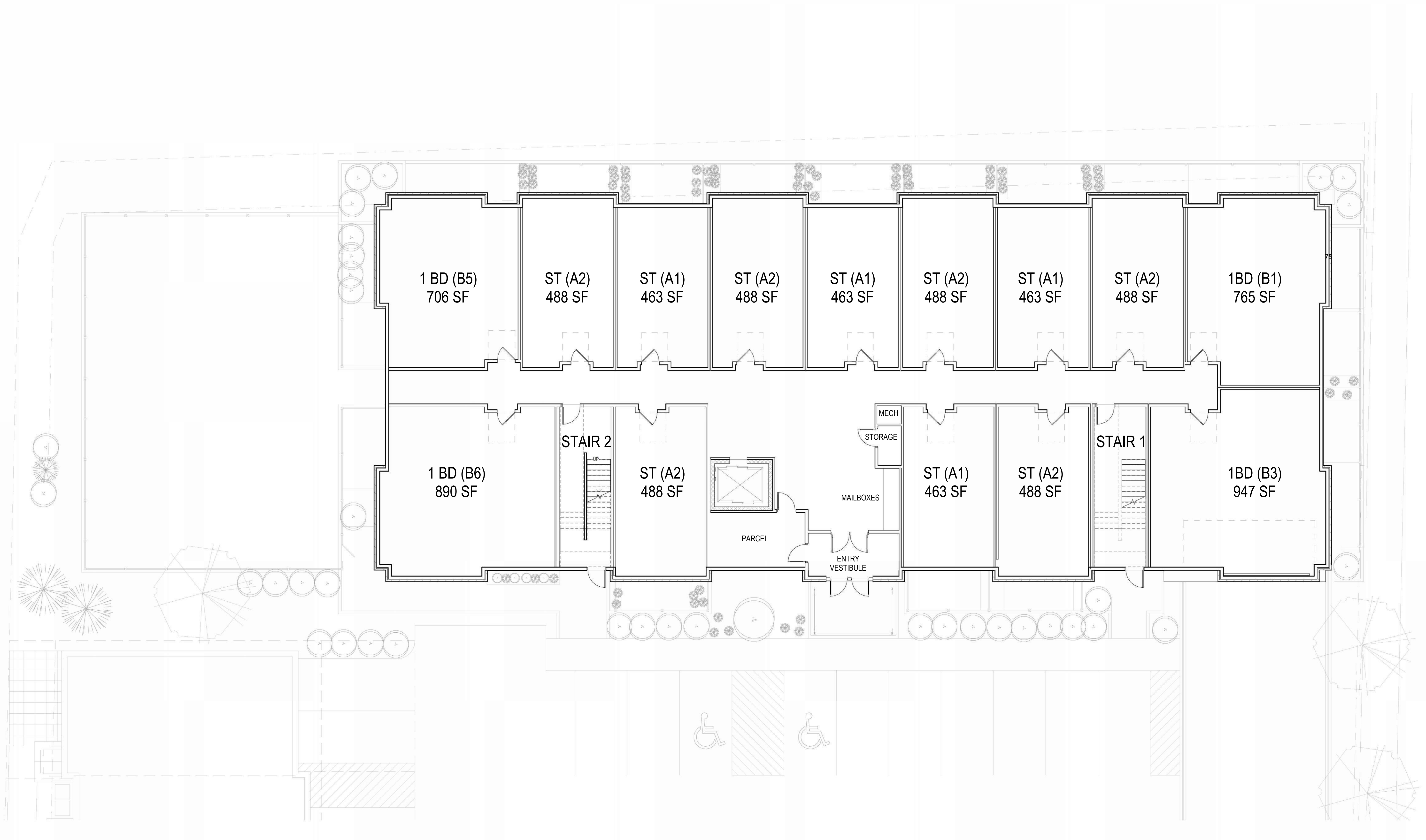
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Mark	Description	Date

SHEET TITLE

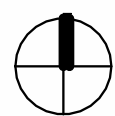
LOWER LEVEL PLAN

SHEET NUMBER

A100



16 FIRST FLOOR PLAN
1/8" = 1'-0"



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CONSERVANCY BEND APARTMENTS

SIP SUBMISSION PLAN-SET

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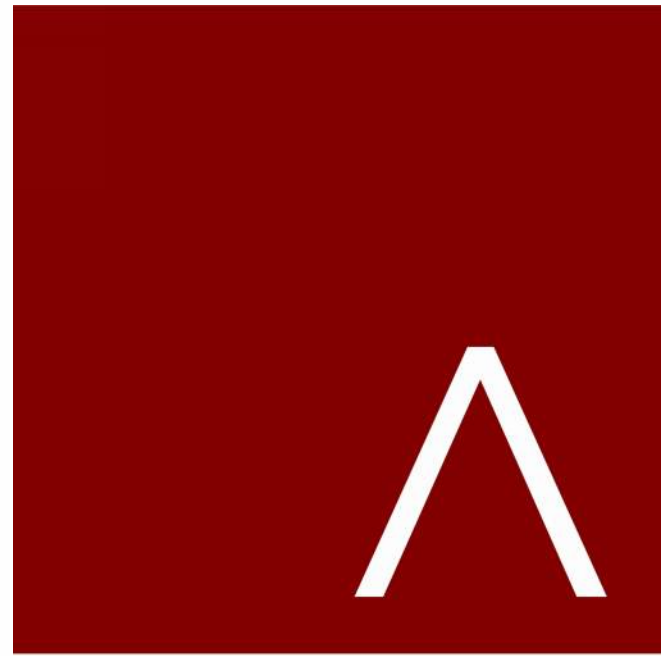
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

A101



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SIP SUBMISSION PLAN-SET

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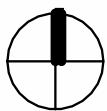
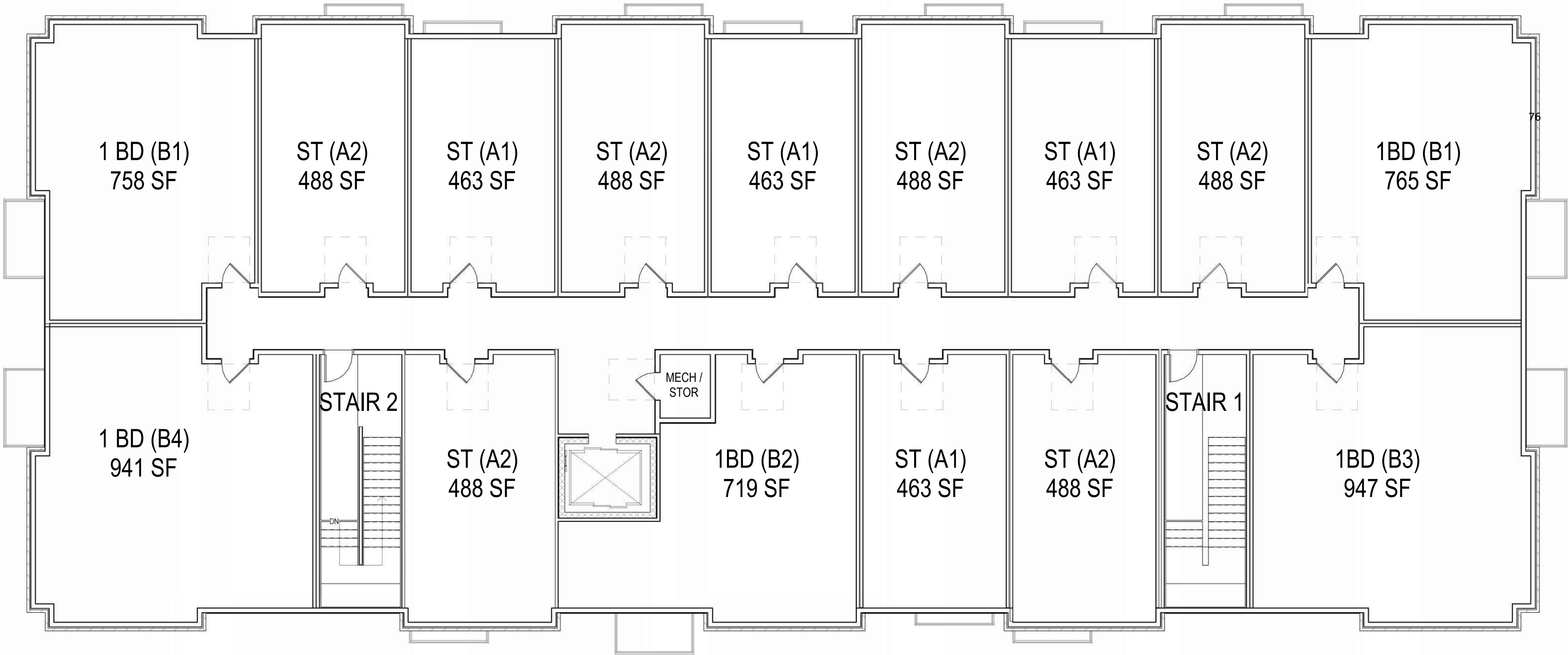
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

SECOND & THIRD
FLOOR PLANS

SHEET NUMBER

A102



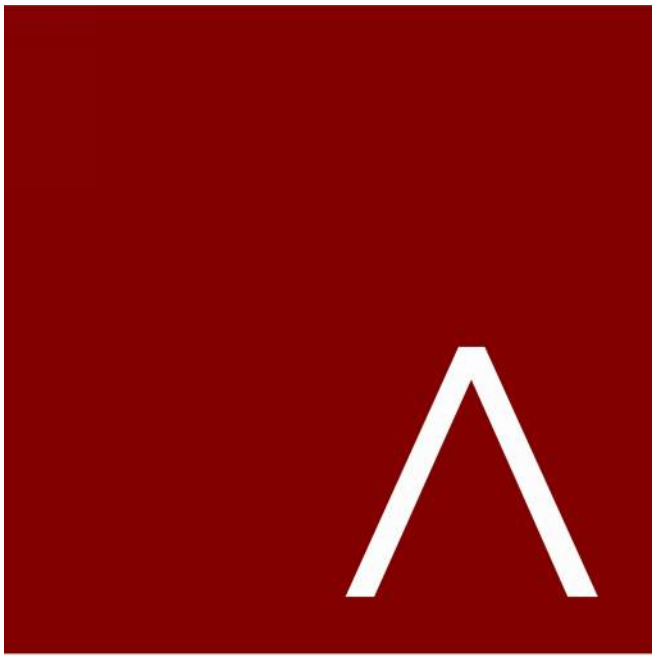
EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	TYPICAL FASCIA W/ GUTTER	TBD	PREFINISHED ALUMINUM	8" - SEE PLANS	ARCTIC WHITE	
2	FIBERGLASS SHINGLES	CERTAINTED - LANDMARK DESIGNER	30 YEAR DIMENSIONAL ASPHALT	SEE PLAN	WEATHERED WOOD	VERIFY COLOR W/ OWNER
3	VINYL WINDOW	SEE WINDOW SCHEDULE	SEE SCHEDULE	SEE WINDOW SCHEDULE	SEE WINDOW SCHEDULE	
4	METAL RAILING	SEE SPECIFICATIONS	SEE SPECIFICATIONS	SEE PLANS	BRONZE	
5	BALCONY / DECK	TRICK	COMPOSITE	SEE PLANS	TBD	
6	HORIZONTAL TRIM BAND	JAMES HARDIE	190 SERIES TRIM	5/4"x4	ARCTIC WHITE	
7	RESIDENTIAL HVAC LOUVER / GRILLE	TBD	EXTRUDED ALUMINUM	TBD	PANT TO MATCH ADJACENT MATERIALS	
8	DOOR / WINDOW TRIM	JAMES HARDIE	5/4"x4	VARIES	ARCTIC WHITE	
9	OVERHEAD GARAGE DOOR	RYTEK	SEE SCHEDULE	SEE DOOR SCHEDULE	MANUFACTURER'S STANDARD	
10	ENTRANCE DOOR(S)	TBD	HOLLOW METAL	SEE DOOR SCHEDULE	COLOR TO MATCH DECKS, RAILINGS	
11	MASONRY	BOWMERSON	BRICK - SANDFACE	UTILITY SIZE	BLUSH BLUFF #150	
12	ALUMINUM ENTRANCE DOOR(S)	KAWNEER	PREFINISHED ALUMINUM	SEE DOOR SCHEDULE	WHITE	
13	VINYL PATIO DOORS	PLYDEM WINDOWS AND DOORS	SEE SCHEDULE	SEE PLANS	SEE WINDOW SCHEDULE	
14	PRECAST CONCRETE SILL - TBD	TBD	TBD	SEE PRECAST PROFILES	CHROME	
17	SIDING - 1	JAMES HARDIE	CEDAR SELECT LAP SIDING	6" NOMINAL	AUTUMN TAN	
18	SIDING - 2	JAMES HARDIE	CEDAR SELECT LAP SIDING	8" NOMINAL	KHAKI BROWN	
19	FIBER CEMENT PANEL-1	JAMES HARDIE	CEDAR SELECT	SEE ELEVATIONS	AUTUMN TAN	
21	DECK EDGE - EXPOSED C CHANNEL	TBD	STEEL OR ALUMINUM	SEE PLAN	TBD	
22	DECK EDGE - COMPOSITE TRIM	JAMES HARDIE	COMPOSITE TRIM	SEE PLAN	TBD	
30	RIDGE VENT	TBD	TBD	TBD	MATCH ROOF	
32	DOWNSPOUT	TBD	TBD	TBD	WHITE	



6 NORTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"



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CONSERVANCY BEND APARTMENTS

SIP SUBMISSION PLAN-SET

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DATE OF ISSUANCE 04/05/24

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A200

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	TYPICAL FASCIA W/ GUTTER	TBD	PREFINISHED ALUMINUM	8" - SEE PLANS	ARCTIC WHITE	
2	FIBERGLASS SHINGLES	CERTANTITE® - LANDMARK DESIGNER	30 YEAR DIMENSIONAL ASPHALT	SEE PLAN	WEATHERED WOOD	VERIFY COLOR W/ OWNER
3	VINYL WINDOW	SEE WINDOW SCHEDULE	SEE SCHEDULE	SEE WINDOW SCHEDULE	SEE WINDOW SCHEDULE	
4	METAL RAILING	SEE SPECIFICATIONS	SEE SPECIFICATIONS	SEE PLANS	BRONZE	
5	BALCONY / DECK	TRICK	COMPOSITE	SEE PLANS	TBD	
6	HORIZONTAL TRIM BAND	JAMES HARDIE	190 SERIES TRIM	5/4"x4"	ARCTIC WHITE	
7	RESIDENTIAL HVAC LOUVER / GRILLE	TBD	EXTRUDED ALUMINUM	TBD	PANT TO MATCH ADJACENT MATERIALS	
8	DOOR / WINDOW TRIM	JAMES HARDIE	5/4"x4"	VARIES	ARCTIC WHITE	
9	OVERHEAD GARAGE DOOR	RYTEK	SEE SCHEDULE	SEE DOOR SCHEDULE	MANUFACTURER'S STANDARD	
10	ENTRANCE DOOR(S)	TBD	HOLLOW METAL	SEE DOOR SCHEDULE	COLOR TO MATCH DECKS, RAILINGS	
11	MASONRY	BOWMERSON	BRICK - SANDFACE	UTILITY SIZE	BLUSH BLUFF #150	
12	ALUMINUM ENTRANCE DOOR(S)	KAWNEER	PREFINISHED ALUMINUM	SEE DOOR SCHEDULE	WHITE	
13	VINYL PATIO DOORS	PLYDEM WINDOWS AND DOORS	SEE SCHEDULE	SEE PLANS	SEE WINDOW SCHEDULE	
14	PRECAST CONCRETE SILL - TBD	TBD	TBD	SEE PRECAST PROFILES	CHROME	
17	SIDING - 1	JAMES HARDIE	CEDAR SELECT LAP SIDING	6" NOMINAL	AUTUMN TAN	
18	SIDING - 2	JAMES HARDIE	CEDAR SELECT LAP SIDING	6" NOMINAL	KHAKI BROWN	
19	FIBER CEMENT PANEL-1	JAMES HARDIE	CEDAR SELECT	SEE ELEVATIONS	AUTUMN TAN	
21	DECK EDGE - EXPOSED C CHANNEL	TBD	STEEL OR ALUMINUM	SEE PLAN	TBD	
22	DECK EDGE - COMPOSITE TRIM	JAMES HARDIE	COMPOSITE TRIM	SEE PLAN	TBD	
30	ROOF VENT	TBD	TBD	TBD	MATCH ROOF	
32	DOWNSPOUT	TBD	TBD	TBD	WHITE	



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APARTMENTS

SIP SUBMISSION PLAN-SET

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DATE OF ISSUANCE 04/05/24

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A201



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CONSERVANCY BEND APARTMENTS

3d EXTERIOR VIEWS - AERIAL

04/05/24



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3d EXTERIOR VIEWS - PERSPECTIVE - SW

04/05/24



T. Wall Enterprises
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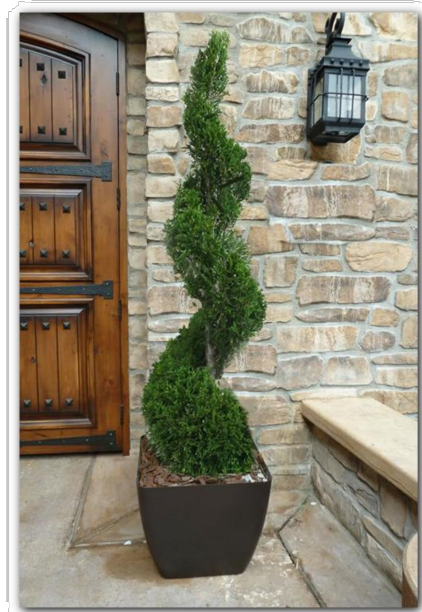
FFM - Fall Fiesta Maple (Fall)



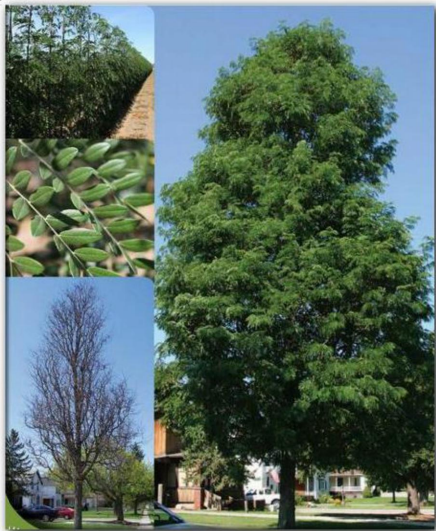
KSO - Kindred Spirit Oak FALL



ISLT - Japanese Tree Lilac Ivory Silk



EAS - Arborvitae-Emerald-Green-Spiral



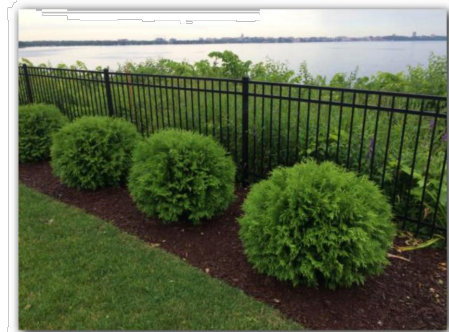
SKH - Street Keeper Honeylocust



ERB - Eastern Redbud



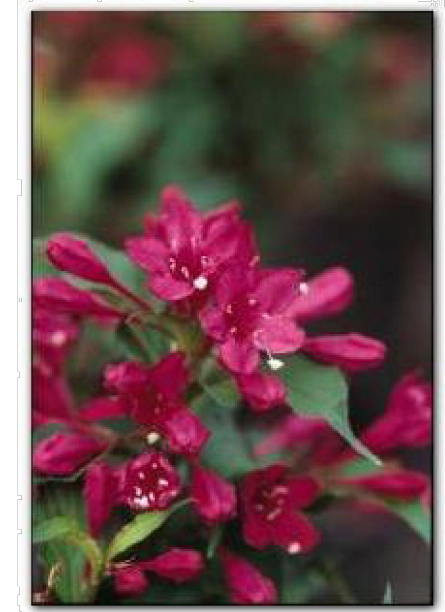
EA - Emerald Arborvitae



WGA - Woodward Globe Arborvitae



PL - Palibin Lilac



RPW - Red Prince Weigela (Flower)



KFG - Karl Foerster's Feather Reed Grass



PRD - Prairie Dropseed

Plant Material List

Broadleaf Deciduous

Quantity	Code Name	Common Name	Scientific Name	Planting Size
1	FFM	Fall Fiesta Sugar Maple	Acer Saccharum 'bailsta'	2" B&B
3	ERB	Eastern Redbud	Cercis Canadensis	5' B&B
5	SKH	Street Keeper Honeylocust	Gleditsia Triacanth 'draves'	3" B&B
7	KSO	Kindred Spirit Oak	Quercus Robur 'X Bicolor 'nadler'	2 1/2" B&B
2	ISLT	Ivory Silk Japanese Lilac (tf)	Syringa Reticulata 'Ivory Silk' (tf)	2 1/2" B&B

Conifer Evergreen

Quantity	Code Name	Common Name	Scientific Name	Planting Size
4	EA	Emerald Arborvitae	Thuja Occidentalis 'smaragd'	4' B&B
2	EAS	Emerald Arborvitae (spl)	Thuja Occidentalis 'smaragd' (spl)	#20 CONT.
35	WGA	Woodward Globe Arborvitae	Thuja Occidentalis 'woodwardii'	#5 CONT.

Perennial

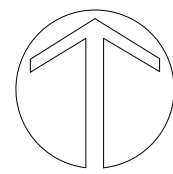
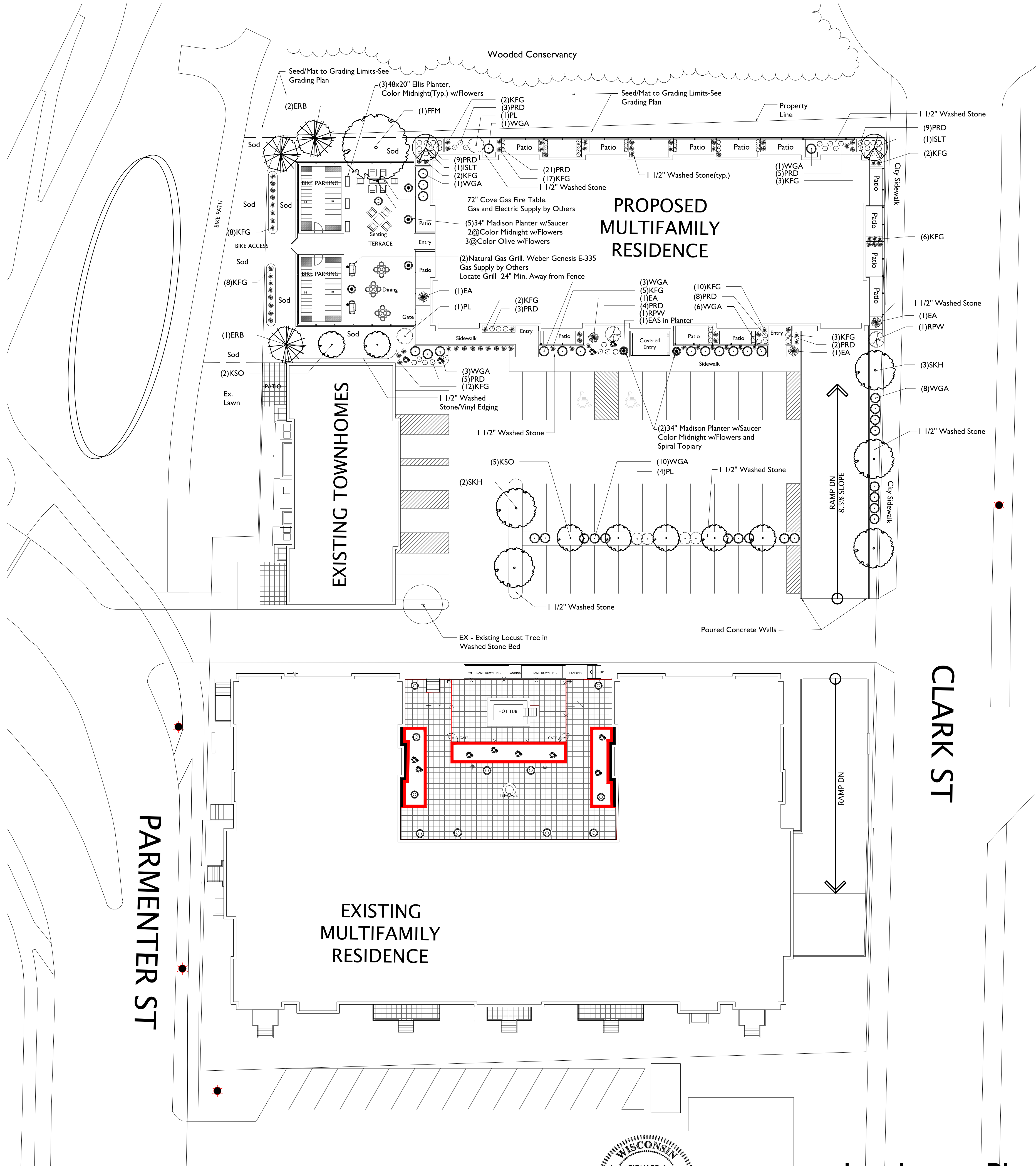
Quantity	Code Name	Common Name	Scientific Name	Planting Size
80	KFG	Karl Foerster's Feather Reed Grass	Calamagrostis Acutiflora 'karl Foerster'	#1 CONT.
69	PRD	Prairie Dropseed	Sporobolus Heterolepis	#1 CONT.

Shrub

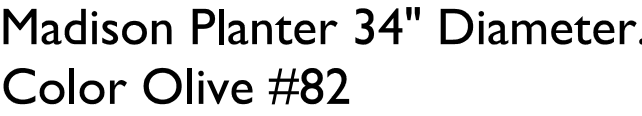
Quantity	Code Name	Common Name	Scientific Name	Planting Size
6	PL	Palibin Lilac	Syringa Meyer 'palibin'	#7 CONT.
2	RPW	Red Prince Weigela	Weigela Florida 'red Prince'	#5 CONT.

Unknown Category

Quantity	Code Name	Common Name	Scientific Name	Planting Size
1	EX	Existing Honeylocust Canopy Tree	Gleditsia Triacanthos	3"



0 20 40 60
SCALE: 1"=20'-0"



SOLUTION		
8	CANOPY TREES (2"-2 1/2" OR 1 1/2"-2" FOR MULTI-STEM TREES) @ 50 PTS.	400
-	CANOPY TREES (1 1/2"-2" OR 8'-10') @ 30 PTS.	-
-	EVERGREEN TREES (4' HT.) @ 30 PTS.	-
-	LOW ORNAMENTAL TREES (5' AND BB STOCK) @ 20 PTS.	-
22	TALL SHRUBS (2 1/2'-4') @ 9 PTS.	198
-	MEDIUM SHRUBS (18"-36") @ 6 PTS.	-
-	LOW SHRUBS (15"-24") @ 3 PTS.	-

GENERAL NOTES

A) Individual trees (and shrub groupings) found along perimeter of property as well as those found within lawn areas to receive wood mulch rings (and wood mulch beds) consisting of a mixture of recycled wood mulch, colored brown, spread to a minimum 3" depth (3' wide beds for shrub groupings).

B) "Vinyl Edging" to be Valley View Black Diamond Vinyl Edging or equivalent.

C) Areas labeled "washed stone" to receive 1-1/2" washed stone spread to a 3" depth over fabric weed barrier.

D) "Seed" areas shall be finish-graded and seeded at a rate of 4 lbs. per 1,000 sq. ft.

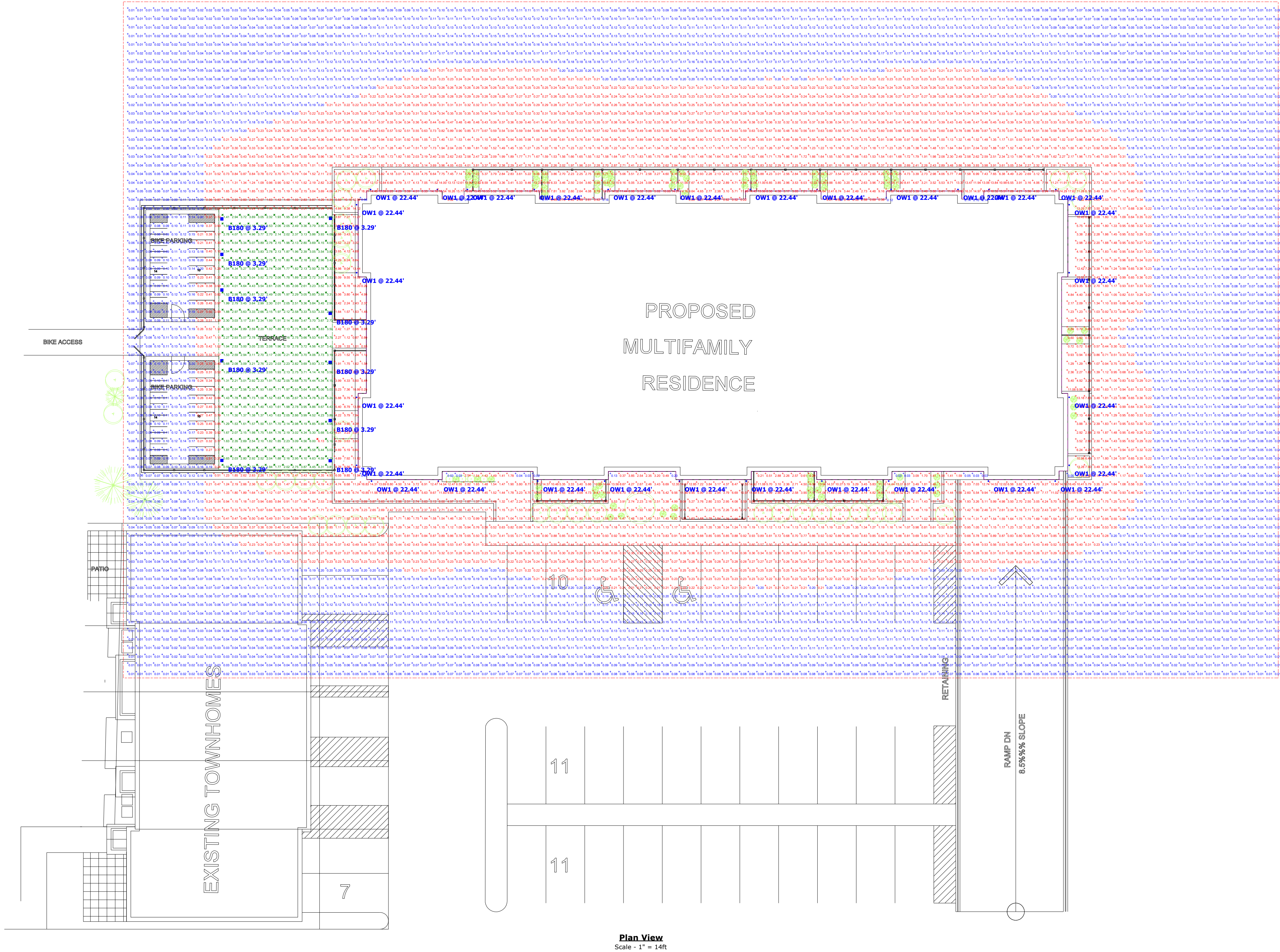
E) Seed shall consist of the following mixture:

- 10% Palmer IV Perennial Ryegrass
- 20% Dragon Kentucky Bluegrass
- 20% Diva Kentucky Bluegrass
- 20% Foxy II Creeping Red Fescue
- 15% Vail II Perennial Ryegrass
- 15% Ginney Kentucky Bluegrass

F) Areas labeled "Seed with Straw Erosion Matting" shall be seeded with the above-noted premium lawn seed mixture and overlaid with DS75 straw erosion control netting that is then pegged into the soil with metal staples.

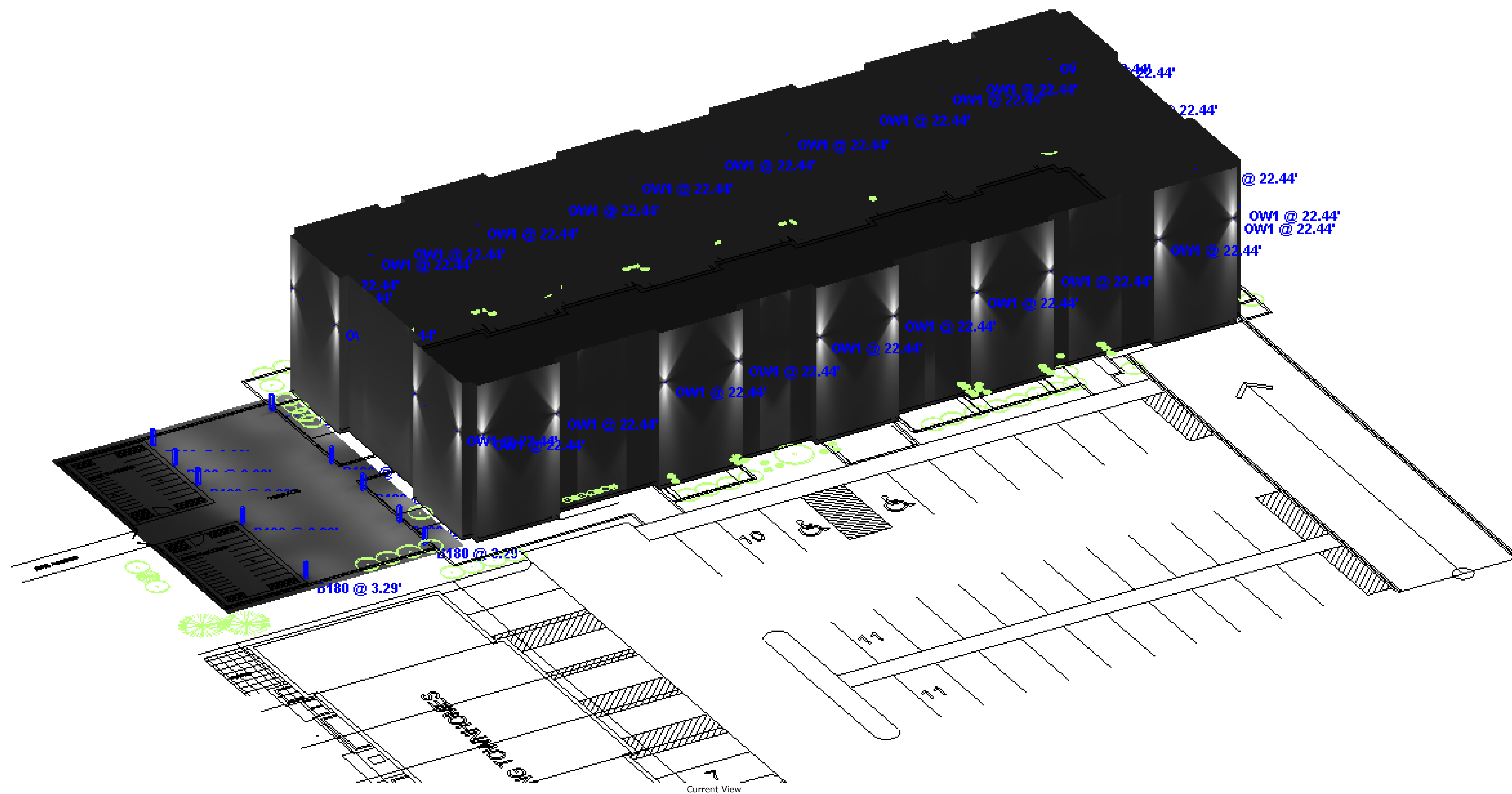
G) Areas labeled "Sod" shall receive only No. 1 grade nursery-grown bluegrass sod.

H) Plant beds adjacent to building foundation to be mulched with 1-1/2" diameter washed stone mulch spread to a 3" depth over fabric weed barrier.



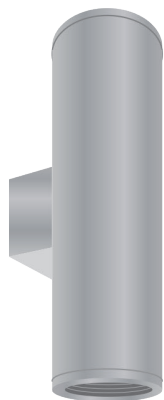
Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Terrace_At Grade	✖	2.93 fc	6.13 fc	0.59 fc	10.4:1	5.0:1



FCC618W Up/Down, Standard Drivers

6" Round wall mount up/down cylinder outdoor



FEATURES

QUICK SHIP PRODUCT

- Up to 5000 lm, Up to 100 LPW
- Numerous mounting capabilities
- Clear anti-glare tempered glass lens (IK09)
- Multiple color finishes with AAMA 2605 option (10 yr. paint warranty)
- 0-10V 1% Dimming (Standard)
- 1.5G Vibration Tested
- 95 CRI with 2 SDCM
- Great glare control UGR < 10

PERFORMANCE

Beam Spread: 15° | 25° | 40° | 50° | 72°
CCT Options: 2700K | 3000K | 3500K | 4000K
CRI: 93 CRI
Consistency: 2 SDCM (Fixture to Fixture)
Lumens: 5000 lm @ 53 W
Lifetime: > 70,000 hours / L70 or better

PHYSICAL

Mounting: Mounts directly to standard recessed junction box with wall mount or twist-lock canopy. Additional holes allow unit to be attached directly to mounting surface.

Ingress Protection: Continuous silicone gasket to seal out contaminants, IP65 rated for dry, damp or wet locations

Finish: Six stage chemical iron phosphate conversion pre-treatment. Polyester powder coat finish, 18 µm Min., 5000hr salt spray test (ASTM B117) compliant with Florida / AAMA 2604 specification. AAMA 2605 optional w/ 10 yr. paint warranty.

Warranty: 5-Year limited warranty (refer to website for details)

Housing: Heavy-walled, extruded aluminum housing with high pressure die-cast lens ring and cap with stainless steel hardware.

Lens: IK09 impact compliant, clear anti-glare tempered glass

Vibration Resistance: Compliant with 1.5G ANSI C136.31, Seismic rated AC-156

Weight: 8-12 lbs (Depending on Length)

Operating Temperature: -22°F to 122°F (-30°C to 50°C)

ELECTRICAL

Voltage: Universal 120-277V AC standard, 347V optional

Power Supply: Integral Class II, electronic high-power factor >90%, THD < 20%, FCC Title 47 Part 15 Class A. EldoLED & Lutron optional

Power Consumption: Up to 53W (5000 lm)

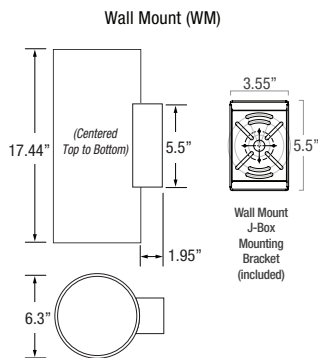
Dimming: Standard: 0-10V, 1% Dimming, Optional: ELV, TRIAC, dim to off, DMX, DALI

Certification: CEC Title 24 - JA8 Compliant (93 CRI Only)

Standards: cETLus Listed, CE, NOM, and RoHS Compliant. Wet location listed for wall or ceiling mount IP65 Ingress protection. 1.5G (ANSI C136.31) Vibration resistance rated. IK09 (IEC6226) Impact resistance rated. IESNA LM79 Photometric testing by NVLAP accredited test lab. IESNA LM80 LED testing by NVLAP accredited test lab. IESNA TM21 Luminaire lumen depreciation projection to >70,000hrs.

PHYSICAL DIMENSIONS

Fixture	Length (A)
FCC618W	18" Height (standard)



****All stated specifications have a tolerance of +/- 7%.**

Due to continuous development and improvements, specifications are subject to change without notice. FC Lighting, Inc. reserves the right to change lab test details or specifications without notice. Product use certifies agreement to FC Lighting, Inc. terms and conditions.

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US Commercial Lighting Manufacturer Since 1982

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FCC618W Up/Down, Standard Drivers

PRODUCT CODE

EXAMPLE: FCC618W-(blank)-WM-UNV-927-D05L-U05L-BKE-D15-U15-ET

MODEL	LENGTH	MOUNTING	VOLTAGE	COLOR	LUMENS	FINISH	DOWNLIGHT OPTICS	UPLIGHT OPTICS	DIMMING	OPTIONS	REMOTE POWER	BATTERY
FCC618W												

MODEL
FCC618W

LENGTH
(blank) 18" Height (standard)

MOUNTING
(blank) Wall (Standard)

VOLTAGE
UNV Universal 120-277 Volt AC
347V 347 Volt AC

COLOR
927 (93CRI) 2700K
930 (93CRI) 3000K
935 (93CRI) 3500K
940 (93CRI) 4000K

FINISH
BKE Black (AAMA 2604)
BRE Bronze (AAMA 2604)
SLE Silver (AAMA 2604)
WHE White (AAMA 2604)
CCE Custom Color (AAMA 2604)
BKED Black (AAMA 2605)
BRED Bronze (AAMA 2605)
SLED Silver (AAMA 2605)
WHED White (AAMA 2605)
CCED Custom Color (AAMA 2605)

LUMENS (DOWN/UP) nominal

DNO	No Light Option	UNO
D05L	500 lm	U05L
D10L	1000 lm	U10L
D15L	1500 lm	U15L
D20L	2000 lm	U20L
D25L	2500 lm	U25L
D30L	3000 lm	U30L
D35L	3500 lm	U35L
D40L	4000 lm	U40L
D45L	4500 lm	U45L
D50L	5000 lm	U50L

(Lumen Output Split
50% Up, 50% Down)
(50L Max in Any
Combo) (Additional
driver needed for
unequal output
selections)

DOWN LIGHT OPTICS (nominal)

DOWN LIGHT OPTICS (nominal)	UPLIGHT OPTICS
D15 Spot (15°) (15L Max)	U15
D25 Narrow Flood (25°)	U25
D40 Mid Flood (40°)	U40
D50 Flood (50°)	U50
D72 Wide Flood (72°)	U72

WITH SOFT FIELD LENS (Below)

WITH SOFT FIELD LENS (Below)	
D15S Spot (15°) (15L Max)	U15S
D25S Narrow Flood (25°)	U25S
D40S Mid Flood (40°)	U40S
D50S Flood (50°)	U50S
D72S Wide Flood (72°)	U72S

DIMMING
ET ELV or TRIAC (120V Phase Dimming w/ UNV Driver)
LD 0-10V Dimming

OPTIONS
CV Cut-Off Visor (Down Only)

REMOTE POWER
DR LED DRIVER REMOTE (INDOOR) IP20, IK08, NEMA 1, -20°C to +50°C, 30' MAX Distance with 12AWG. *Consult factory for outdoor remote.

BATTERY
BBUR BATTERY BACK-UP & LED DRIVER REMOTE (INDOOR), IP20, IK08, NEMA 1, 0°C to +48°C, 30' MAX Distance with 12AWG
BBUX BATTERY BACK-UP & LED DRIVER REMOTE (OUTDOOR), IP67, IK10, NEMA 4X, -20°C to +55°C, 30' MAX Distance with 12AWG

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FCC618W Up/Down, Standard Drivers

LUMENS nominal

Model	Watts	940
FCC618W	5W (Min)	500 lm (Min)
	53W (Max)	5000 lm (Max)

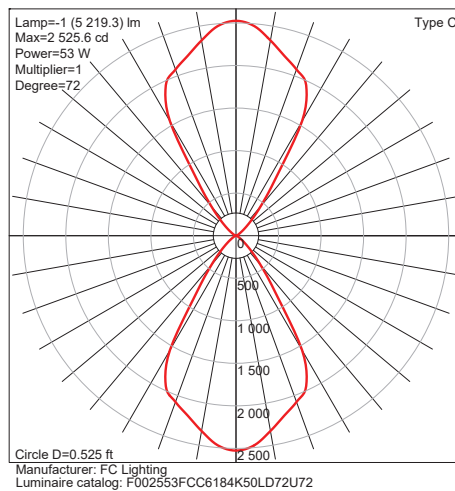
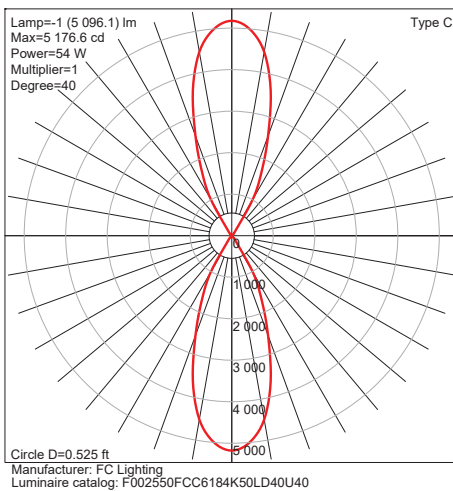
IES Multiplier	
Color	Multiplier
927	0.93
930	0.97
935	0.99
940	1.00

*83CRI±1.15 Consult factory.

TRIAC & ELV Approved Dimmer List	
Manufacturer	Manufacturer Part Number
Lutron	Glyder GLV-600
	Diva DVLV-600P
	Diva DV-600P
	Diva DVELV-600P(303)
	Maestro MALV-600
	Nova T NT-1000
	Nova T NTELV-600
Leviton	Skylark SLV-600P
	RadioRA2-10ND
	SureSlide 6633
	Illumatech IPE04

0-10V Approved Dimmer List	
Manufacturer	Manufacturer Part Number
Lutron	Diva DVSTV-XX
	Diva DVSTV-453PH-WH1
Leviton	Illumatech 010-IP710-DLZ

PHOTOMETRICS



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US Commercial Lighting Manufacturer Since 1982

FCB8C-18L02



Date:

Type:

Fixture:

Project:

Approved:

FCB8C-18L02 Exterior die-cast aluminum, 8" nominal diameter bollard with a 180° window and 2" high lens.

SPECIFICATIONS

PHYSICAL

dimensions	39.5" H x 7.87" Ø
weight	18 lbs
housing	Marine grade, corrosion resistant, heavy gauge extruded aluminum
lens	Impact resistant, UV stabilized, opal, polycarbonate diffuser
mounting	Heavy wall base bracketing for bollard installation provides a unique mounting solution, so the tower body anchors flush to the ground without the appearance of a base plate, anchor bolts included
ingress protection	IP66: dry, damp, or wet locations
finish	Available in Black, Bronze, Graphite Grey, Silver, White and Custom Colors. Six stage chemical iron phosphate conversion pre-treatment. Polyester powder coat finish, 18 µm Min., 5000hr salt spray test (ASTM B117) compliant with Florida / AAMA 2604 specification.

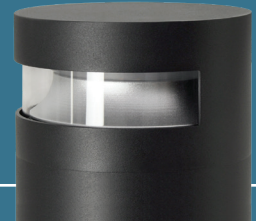
PERFORMANCE

color temperature	2700K	3000K	3500K	4000K
lumen output	593	625	630	663
lumen maintenance	L70 >70,000 hours			
color consistency	3 SDCM 85 CRI			
operating temperature	-13°F to 104°F (-25°C to 40°C)			
warranty	5-Year limited warranty			

ELECTRICAL

input voltage	Universal 120 - 277 VAC optional: 347 VAC 480 VAC
power supply	Integral Class II, electronic, high power factor > 94% @ 120V
certification	ETL/cETL Listed
standards	UL1598/CSA C22.2 No. 250.0; UI 8750/CSA C22.2 No. 250.13/IES LM-79/LM-80
power consumption	15W @ 120 - 277 VAC (maximum)
dimming	0-10V (10%)

Due to continuous development and improvements, specifications are subject to change without notice.
Product use certifies agreement to FC Lighting terms and conditions.



Ordering Information

ORDERING INFORMATION

FCB8C-18L02		39		7L			
SERIES	VOLTAGE	HEIGHT	CCT	LUMENS	FINISH	OPTIONS	
FCB8C-18L02	UNV	UNV 120 - 277 VAC	39 39.5"	27K 2700K	7L 663 lm (15W)	BKE Black	LD 0-10V Dimming (Standard)
	347V	347 VAC		3K 3000K		BRE Bronze	SP20 20kV Surge Protector
	480V	480 VAC		35K 3500K		GRE Graphite Grey	BBU Battery Backup (Integral)
	120V	120 VAC (Photo Eye)		4K 4000K		SLE Silver	SP20-BBU (2) 20kV Surge Protectors (1/LED Driver, 1/BBU) and Battery Backup (Integral)
	277V	277 VAC (Photo Eye)				WHE White	
						CCE Custom Color	PE120 Photo Eye for 120 VAC
							PE277 Photo Eye for 277 VAC
							LAB ¹ Less Anchor Bolt Kit - for shipment separate of Anchor Bolt Kit

ANCHOR BOLT KITS

A00836

Anchor Bolt Kit - Complete Anchor Bolt Kit shipped in advance of fixture.

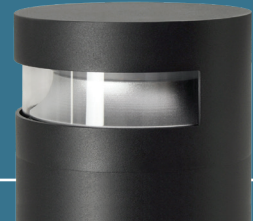
¹ Note: Fixture must be mounted into FC Lighting supplied Anchor Bolt Kit shipped with or separate of fixture.

Consult Factory for other options and configurations.

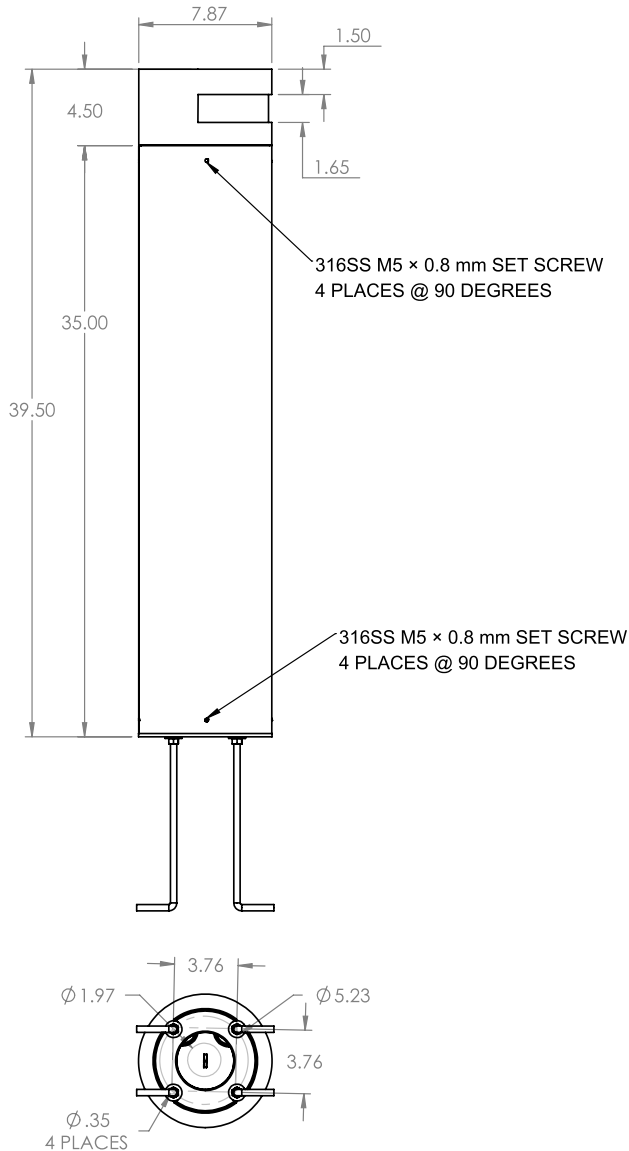
To ensure you receive proper configurations for your lighting specifications, contact us directly about any unique application requirements. This may include but not be limited to lumen output, mounting needs, or electrical requirements.

Due to continuous development and improvements, specifications are subject to change without notice.
Product use certifies agreement to FC Lighting terms and conditions.

Physical



PRODUCT DIMENSIONS - STANDARD PRODUCT



MOUNTING

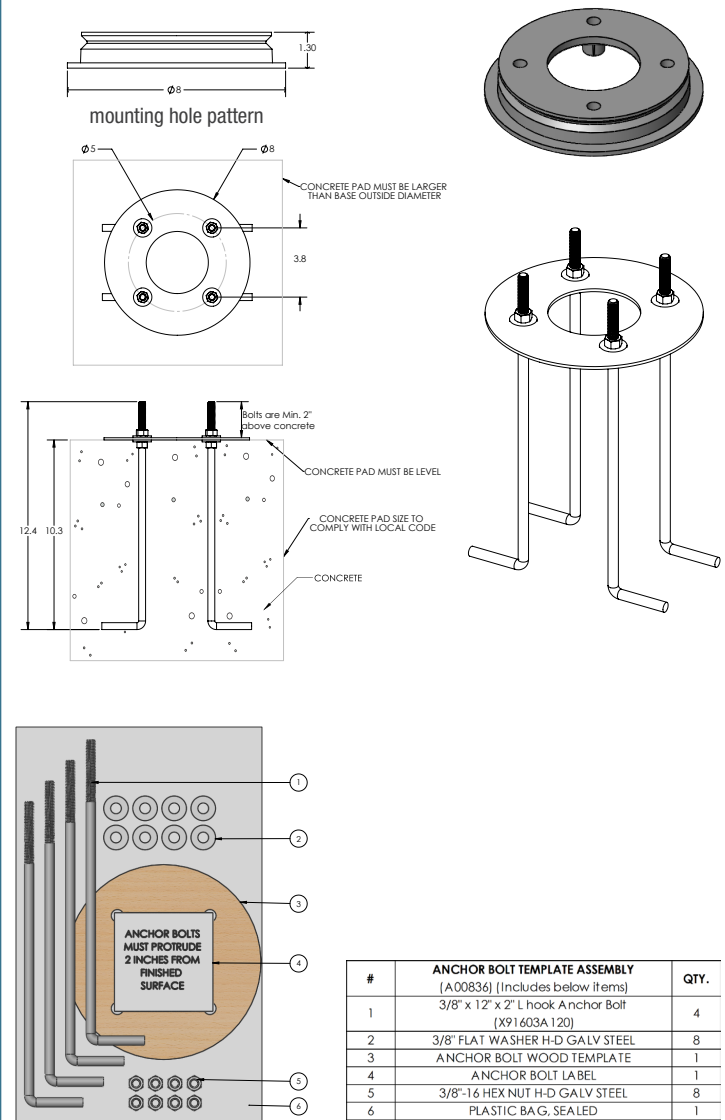
Mounting Plate Diameter

 $\phi 7.90"$

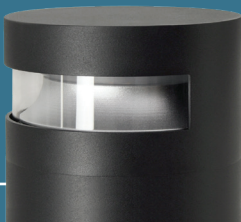
Anchor Bolt Template Assembly

A00836

(Includes the below items listed)

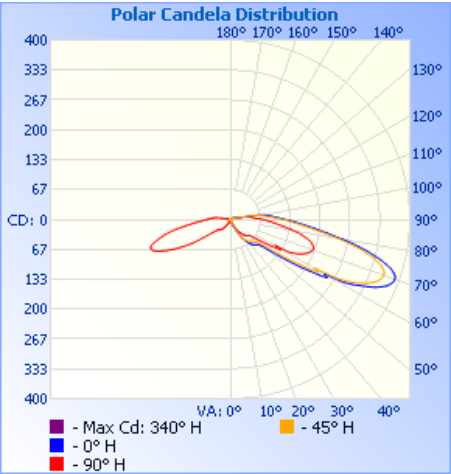


Due to continuous development and improvements, specifications are subject to change without notice.
Product use certifies agreement to FC Lighting terms and conditions.



Photometry

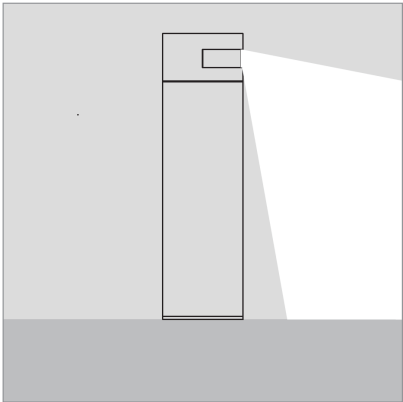
OPTICAL DISTRIBUTION



Illuminance at a Distance

	Center Beam fc	Beam Width
1.7ft	0.21 fc	0.8 ft 5.9 ft
3.3ft	0.06 fc	1.6 ft 11.5 ft
5.0ft	0.02 fc	2.4 ft 17.4 ft
6.7ft	0.01 fc	3.3 ft 23.3 ft
8.3ft	0.01 fc	4.0 ft 28.8 ft
10.0ft	0.01 fc	4.9 ft 34.7 ft

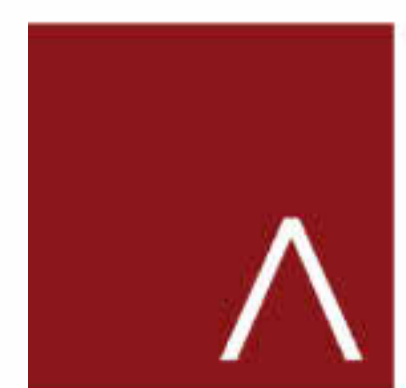
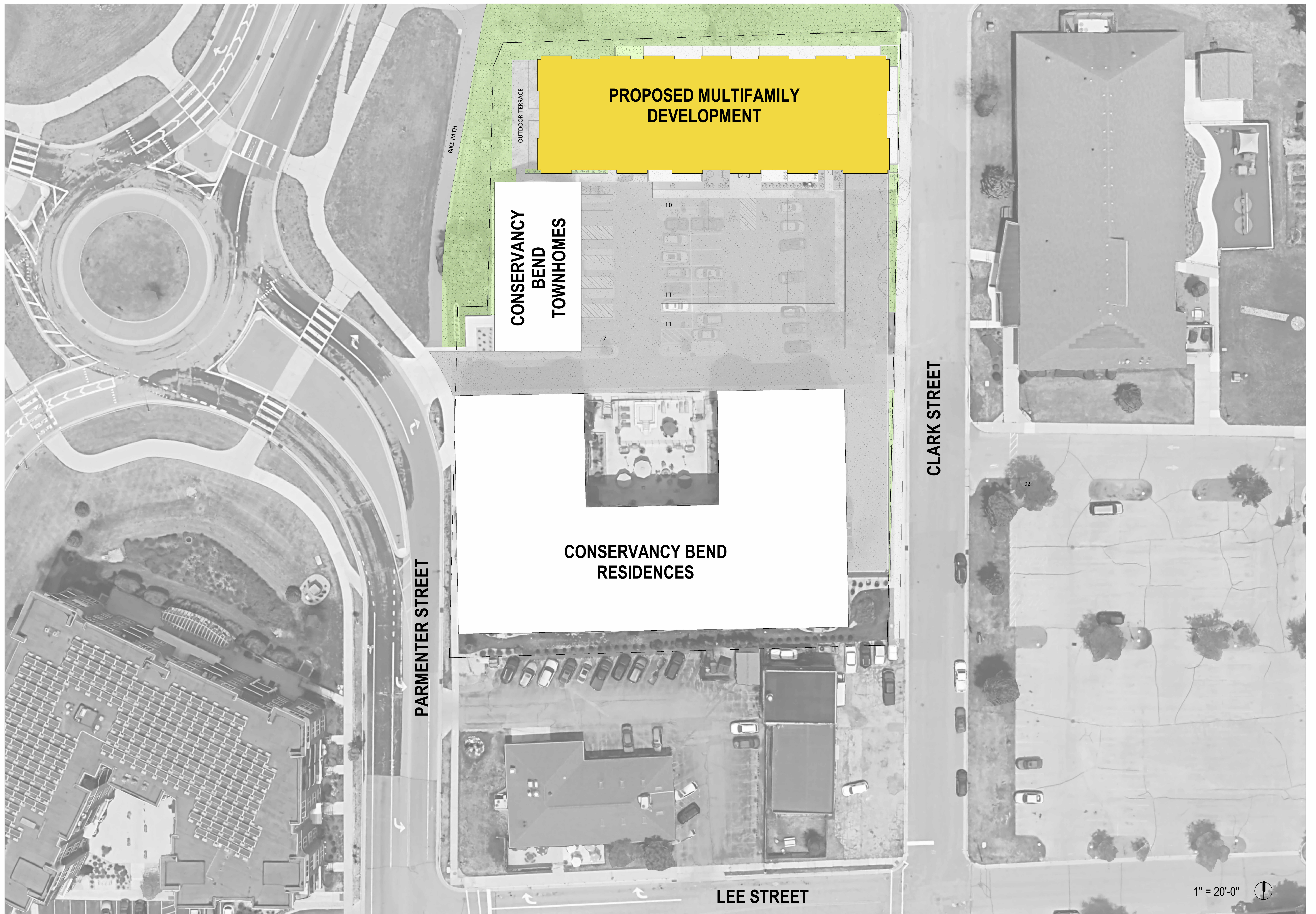
■ Vert. Spread: 27.3°
■ Horiz. Spread: 120.1°



Due to continuous development and improvements, specifications are subject to change without notice.
Product use certifies agreement to FC Lighting terms and conditions.

 US Commercial Lighting Manufacturer Since 1982

Specification Sheet



CONSERVANCY BEND APARTMENTS

July 2, 2024



UNIT NAME		STUDIO		1 BEDROOM			1 BR + DEN	2 BEDROOMS	(1) TOTAL UNITS	(1) TOTAL BEDROOMS	RESIDENTIAL NET AREA LEASABLE	(3) GROSS AREA (S.F.)	EFFICIENCY	PARKING AREA (S.F.)	COVERED PARKING	SURFACE PARKING	PARKING RATIO	
		A1	A2	B1	B2	B3	C1	D2										
BEDROOMS		1	1	1	1	1	1	2										
AREA (S.F.)		463	488	765	732	947	920	1,082										
FLOORS	3	4	6	1	2	1	1	2	17	19	11,040	12,875	85.7%					
	2	4	6	1	2	1	1	2	17	19	11,040	12,875	85.7%					
	1	4	6	1	1	1	1	2	16	18	10,308	12,875	80.1%					
	LL										-			13,260	31	10	PER UNIT	PER BR
TOTALS		12	18	3	5	3	3	6	50	56	32,388	38,625	83.9%	13,260	31	10	0.82	0.73
PERCENT		24.0%	36.0%	6.0%	10.0%	6.0%	6.0%	12.0%										
		60.0%		28.0%				12.0%										

648 Average N.S.F. per unit
258 Average G.S.F per unit

428 Average S.F. per space

NOTES:

- 1st FLOOR CONTAINS THE MAIN ENTRY LOBBY.
- PARKING AREAS INCLUDE THE STAIRS & ELEVATOR.
- GROSS AREA DOES NOT INCLUDE PARKING AREAS.

CONSERVANCY BEND RESIDENCES – BUILDING A1 DATA												
LEVEL	UNITS							PARKING PROVIDED				
	STUDIO	1 BR	1BR+	2BR	3BR	TOTAL	BR'S	COVERED	SURFACE	TOTALS	RATIOS	
4	10	7	0	4	2	23	31					
3	10	7	0	4	2	23	31					
2	10	7	0	4	2	23	31					
1	5	7	0	4	2	18	26	69	22			
T.	35	28	0	16	8	87	119	69	22	91	1.04 / U	0.76 / BR
	40.2%	32.2%	0%	18.4%	9.2%							

PROPOSED MULTIFAMILY DEVELOPMENT – BUILDING A2 DATA												
LEVEL	UNITS							PARKING PROVIDED				
	STUDIO	1 BR	1BR+	2BR	3BR	TOTAL	BR'S	COVERED	SURFACE	TOTALS	RATIOS	
3	10	4	1	2	0	17	19					
2	10	4	1	2	0	17	19					
1	10	3	1	2	0	16	18	31	10			
T.	30	11	3	6	0	50	56	31	10	41	.82 / U	.73 / BR
	60%	22%	6%	12%	0%							

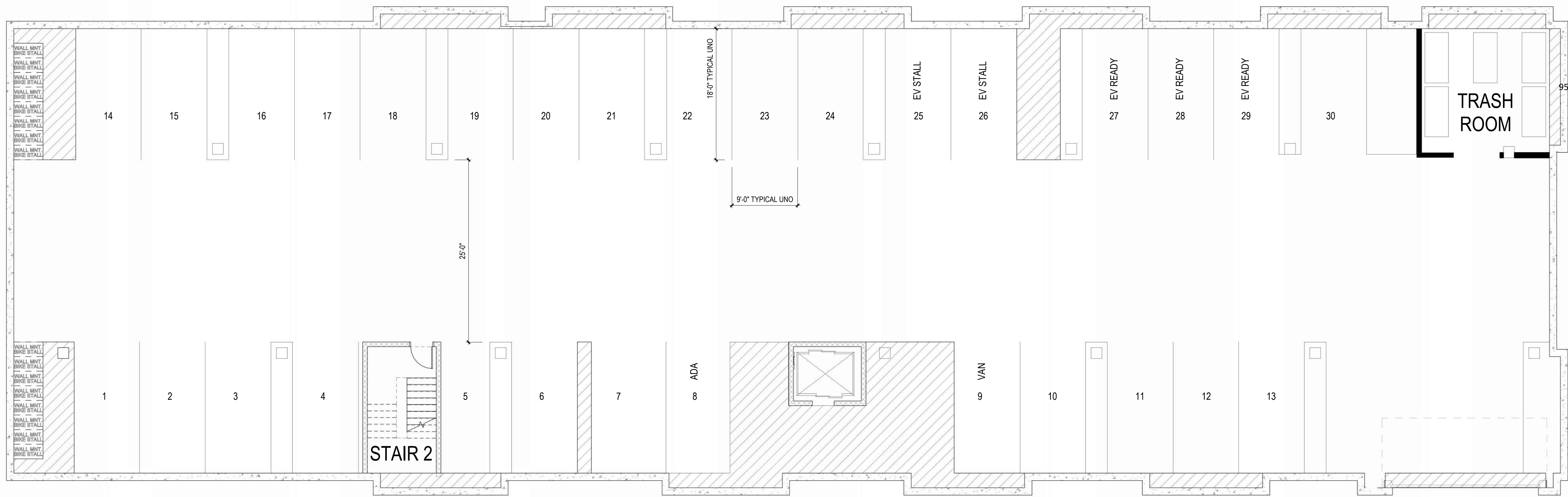
CONSERVANCY BEND TOWNHOMES – BUILDING T1 DATA												
BLDG	UNITS							PARKING PROVIDED				
	STUDIO	1 BR	1BR+	2BR	3BR	TOTAL	BR'S	COVERED	SURFACE	TOTALS	RATIOS	
T1	0	0	0	5	0			7	7			
T.	0	0	0	5	0	5	10	7	7	14	2.80 / U	1.40 / BR
	0%	0%	0%	100.0%	0%							

BUILDING AREA			
LEVEL	BUILDING		
	A1	A2	T1
4	21,200	–	–
3	21,300	12,875	3900
2	21,300	12,875	3900
1	21,200	12,875	3750
LL	26,100	13,260	–
T.	111,100	51,860	11,550

GRAND TOTALS	65	39	3	27	8	142	185	107	39	146	1.02 / U	.79 / BR
	48%	31%	0%	15.0%	6%							

CONSERVANCY TOWNHOMES &
CONSERVANCY BEND APARTMENTS





1 LOWER LEVEL PLAN
1/8" = 1'-0"



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Development, LLC

CONSERVANCY BEND
APARTMENTS

SIP SUBMISSION PLAN-SET

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DATE OF ISSUANCE 07/02/24

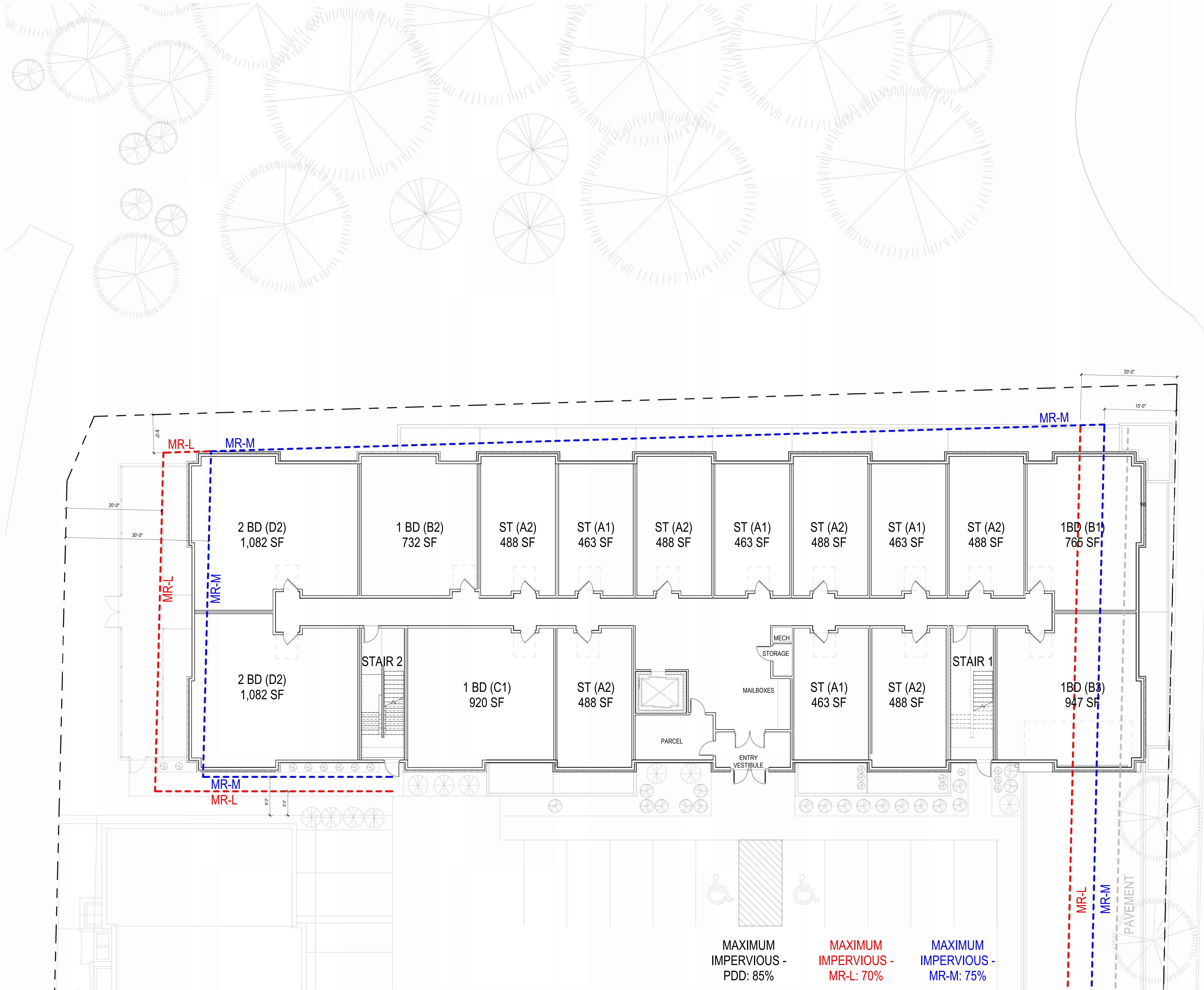
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

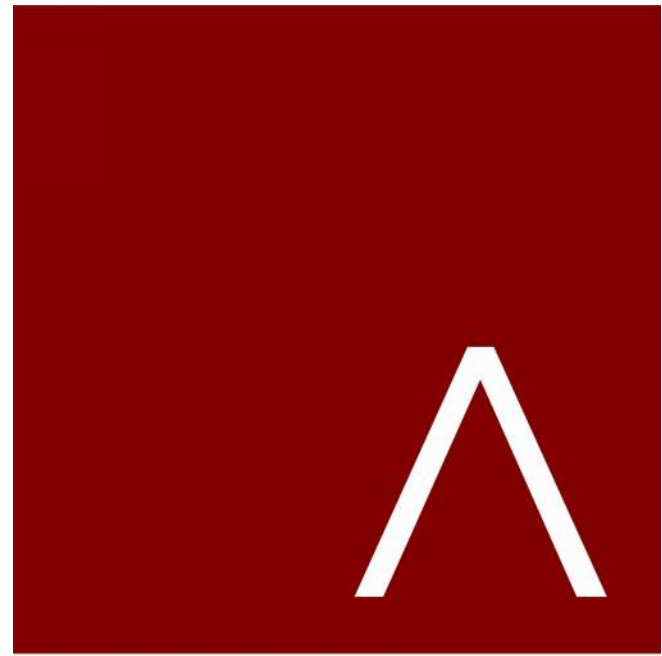
LOWER LEVEL PLAN

SHEET NUMBER

A100



16 FIRST FLOOR PLAN
1/8" = 1'-0"



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DATE OF ISSUANCE 07/02/24

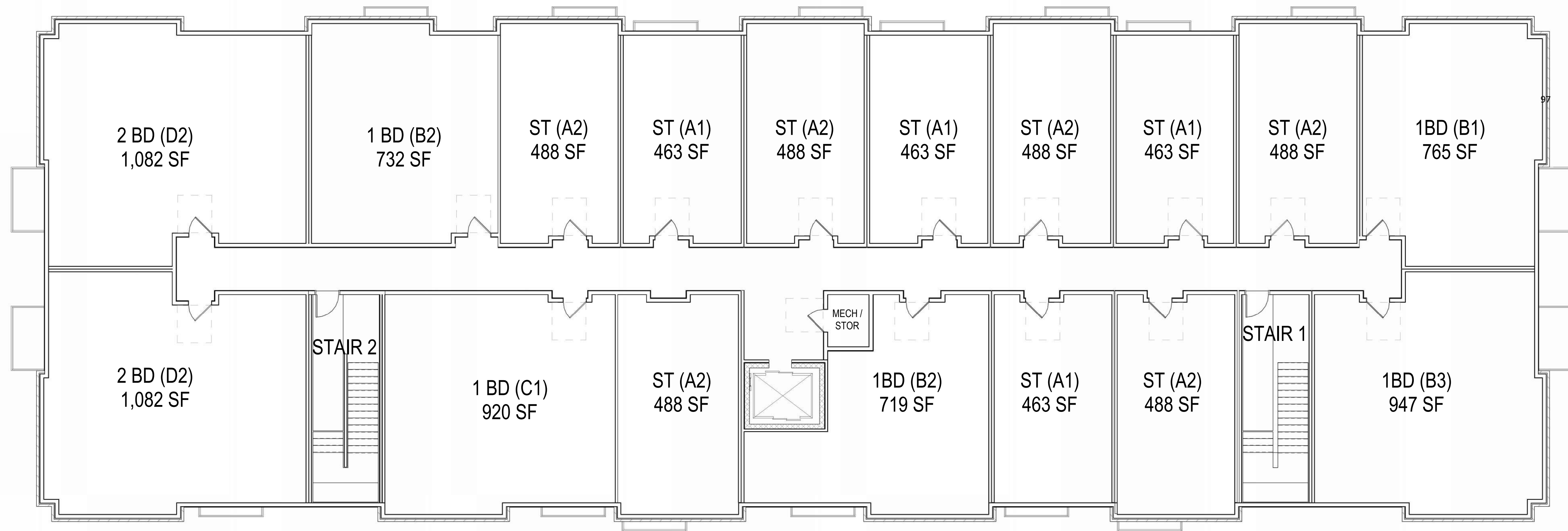
REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

FIRST FLOOR PLAN

SHEET NUMBER

A101



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REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

**SECOND & THIRD
FLOOR PLANS**

SHEET NUMBER

A102

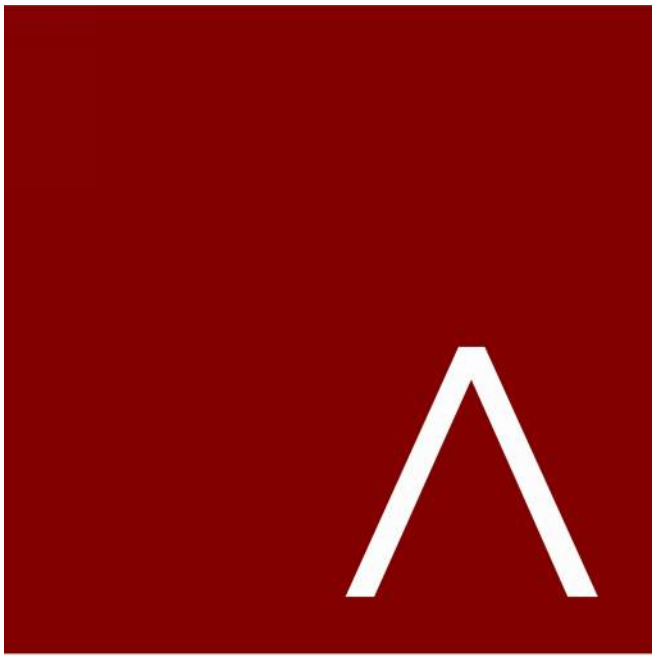
EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	TYPICAL FASCIA W/ GUTTER	TBD	PREFINISHED ALUMINUM	8" - SEE PLANS	ARCTIC WHITE	
2	FIBERGLASS SHINGLES	CERTANTITE® - LANDMARK DESIGNER	30 YEAR DIMENSIONAL ASPHALT	SEE PLAN	WEATHERED WOOD	VERIFY COLOR W/ OWNER
3	VINYL WINDOW	SEE WINDOW SCHEDULE	SEE SCHEDULE	SEE WINDOW SCHEDULE	SEE WINDOW SCHEDULE	
4	METAL RAILING	SEE SPECIFICATIONS	SEE SPECIFICATIONS	SEE PLANS	BRONZE	
5	BALCONY / DECK	TRICK	COMPOSITE	SEE PLANS	TBD	
6	HORIZONTAL TRIM BAND	JAMES HARDIE	190 SERIES TRIM	5/4"x4"	ARCTIC WHITE	
7	RESIDENTIAL HVAC LOUVER / GRILLE	TBD	EXTRUDED ALUMINUM	TBD	PANT TO MATCH ADJACENT MATERIALS	
8	DOOR / WINDOW TRIM	JAMES HARDIE	5/4"x4"	VARIES	ARCTIC WHITE	
9	OVERHEAD GARAGE DOOR	RYTEK	SEE SCHEDULE	SEE DOOR SCHEDULE	MANUFACTURER'S STANDARD	
10	ENTRANCE DOOR(S)	TBD	HOLLOW METAL	SEE DOOR SCHEDULE	COLOR TO MATCH DECKS, RAILINGS	
11	MASONRY	BOWMERSON	BRICK - SANDFACE	UTILITY SIZE	BULSH BLUFF #150	
12	ALUMINUM ENTRANCE DOOR(S)	KAWNEER	PREFINISHED ALUMINUM	SEE DOOR SCHEDULE	WHITE	
13	VINYL PATIO DOORS	PLYDEM WINDOWS AND DOORS	SEE SCHEDULE	SEE PLANS	SEE WINDOW SCHEDULE	
14	PRECAST CONCRETE SILL - TBD	TBD	TBD	SEE PRECAST PROFILES	CRème	
17	SIDING - 1	JAMES HARDIE	CEDAR SELECT LAP SIDING	6" NOMINAL	AUTUMN TAN	
18	SIDING - 2	JAMES HARDIE	CEDAR SELECT LAP SIDING	8" NOMINAL	KHAKI BROWN	
19	FIBER CEMENT PANEL-1	JAMES HARDIE	CEDAR SELECT	SEE ELEVATIONS	AUTUMN TAN	
21	DECK EDGE - EXPOSED C CHANNEL	TBD	STEEL OR ALUMINUM	SEE PLAN	TBD	
22	DECK EDGE - COMPOSITE TRIM	JAMES HARDIE	COMPOSITE TRIM	SEE PLAN	TBD	
30	ROOF VENT	TBD	TBD	TBD	MATCH ROOF	
32	DOWNSPOUT	TBD	TBD	TBD	WHITE	



6 NORTH ELEVATION
1/8" = 1'-0"



1 EAST ELEVATION
1/8" = 1'-0"



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CONSERVANCY BEND
APARTMENTS

SIP SUBMISSION PLAN-SET

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DATE OF ISSUANCE 07/02/24

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A200

EXTERIOR MATERIALS SCHEDULE						
MARK	DESCRIPTION	MANUFACTURER	TYPE / STYLE	DIMENSIONS	COLOR	NOTES
1	TYPICAL FASCIA W/ GUTTER	TBD	PREFINISHED ALUMINUM	8" - SEE PLANS	ARCTIC WHITE	
2	FIBERGLASS SHINGLES	CERTANTIED - LANDMARK DESIGNER	30 YEAR DIMENSIONAL ASPHALT	SEE PLAN	WEATHERED WOOD	VERIFY COLOR W/ OWNER
3	VINYL WINDOW	SEE WINDOW SCHEDULE	SEE SCHEDULE	SEE WINDOW SCHEDULE	SEE WINDOW SCHEDULE	
4	METAL RAILING	SEE SPECIFICATIONS	SEE SPECIFICATIONS	SEE PLANS	BRONZE	
5	BALCONY / DECK	TRICK	COMPOSITE	SEE PLANS	TBD	
6	HORIZONTAL TRIM BAND	JAMES HARDIE	190 SERIES TRIM	5/4"x4"	ARCTIC WHITE	
7	RESIDENTIAL HVAC LOUVER / GRILLE	TBD	EXTRUDED ALUMINUM	TBD	PANT TO MATCH ADJACENT MATERIALS	
8	DOOR / WINDOW TRIM	JAMES HARDIE	5/4"x4"	VARIES	ARCTIC WHITE	
9	OVERHEAD GARAGE DOOR	RYTEK	SEE SCHEDULE	SEE DOOR SCHEDULE	ARCTIC WHITE	
10	ENTRANCE DOOR(S)	TBD	HOLLOW METAL	SEE DOOR SCHEDULE	COLOR TO MATCH DECKS, RAILINGS	
11	MASONRY	BOWMERSON	BRICK - SANDFACE	UTILITY SIZE	BLUSH BLUFF #150	
12	ALUMINUM ENTRANCE DOOR(S)	KAWNEER	PREFINISHED ALUMINUM	SEE DOOR SCHEDULE	WHITE	
13	VINYL PATIO DOORS	PLYDEM WINDOWS AND DOORS	SEE SCHEDULE	SEE PLANS	SEE WINDOW SCHEDULE	
14	PRECAST CONCRETE SILL - TBD	TBD	TBD	SEE PRECAST PROFILES	CHROME	
17	SIDING - 1	JAMES HARDIE	CEDAR SELECT LAP SIDING	6" NOMINAL	AUTUMN TAN	
18	SIDING - 2	JAMES HARDIE	CEDAR SELECT LAP SIDING	6" NOMINAL	KHAKI BROWN	
19	FIBER CEMENT PANEL-1	JAMES HARDIE	CEDAR SELECT	SEE ELEVATIONS	AUTUMN TAN	
21	DECK EDGE - EXPOSED C CHANNEL	TBD	STEEL OR ALUMINUM	SEE PLAN	TBD	
22	DECK EDGE - COMPOSITE TRIM	JAMES HARDIE	COMPOSITE TRIM	SEE PLAN	TBD	
30	RIDGE VENT	TBD	TBD	TBD	MATCH ROOF	
32	DOWNSPOUT	TBD	TBD	TBD	WHITE	



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CONSERVANCY BEND APARTMENTS

SIP SUBMISSION PLAN-SET

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DATE OF ISSUANCE 07/02/24

REVISION SCHEDULE		
Mark	Description	Date

SHEET TITLE

EXTERIOR
ELEVATIONS

SHEET NUMBER

A201



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3d EXTERIOR VIEWS - AERIAL

07/02/24



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3d EXTERIOR VIEWS - PERSPECTIVE - SW

07/02/24



T. Wall Enterprises
Development LLC



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

CITY OF MIDDLETON
7426 HUBBARD AVENUE
MIDDLETON, WI 53562-3118

PH 608.821-8343 FAX 608.827.1080
E-MAIL: aattoun@ci.middleton.wi.us
WEB: www.CityofMiddleton.us

TO: Plan Commission

Date: July 3, 2024

From: Abby Attoun, Director of Planning & Community Development

Subject: Preliminary Plat – The Garden District (Bruce Company Redevelopment) (PC-2614)

On 02/27/24, the Plan Commission referred four policy items related to The Garden District preliminary plat to the Parks, Recreation, and Forestry Commission for a recommendation to the Plan Commission and Common Council. On 06/17/24, the Parks, Recreation, and Forestry Commission provided recommendations back to the Plan Commission.

The four policy issues are:

1. **PARKLAND DEDICATION** - The Common Council (08/17/21) approved dedication of a minimum of 3-acres of parkland in order to fulfill the parkland dedication requirements for this project. Separately, they approved dedication of the creek corridor so the City can access the creek for maintenance. The developer is proposing that the creek corridor be counted towards the 3-acre requirement, but past practice is to only count active parkland towards dedication requirements.
 - [Section 19.06\(3\)\(k\)](#) includes City standards for dedication of parks and public sites.
 - The Parks, Recreation, and Forestry Commission recommended that only active parkland be counted toward the 3-acre parkland dedication requirement. This means that the following land would be excluded by the 3-acre calculations:
 - Proposed underground detention/infiltration facility easement - about 0.25 acres of land
 - [Environmental Corridor](#) - roughly 1.0 acres of land (inclusive of creek corridor and banks - about 0.6 acres of land)
 - The Parks, Recreation, and Forestry Commission was open to considering additional active parkland that could make up the deficient from the negotiated 3-acre parkland dedication requirement and also supported making up the deficit by paying fees in lieu of land dedication.
 - Planning staff has prepared a map in the packet which shows the active parkland dedication acreage, which is approximately 1.85 acres. The exact acreage of dedication should be shown on the revised preliminary plat submittal.
 - City ordinance states that the amount of any fee imposed in lieu of land dedication for parks, open spaces and passive recreational facilities shall be based on the larger of either the "fair market value" of the amount of land which would otherwise be required to be dedicated or the amounts set forth in the Fee Schedule under Section 3.12. The fair market value is determined by the City Assessor based on the projected assessed value adjusted to the market value in accordance with current practices of the City Assessor.
 - The City Assessor has determined the fair market to be \$323,200/acre.
 - If the Plan Commission and Common Council accept the parkland dedication amount of 1.85 acres and recommend the fee in lieu of land dedication, the amount for a deficit of 1.15 acres of land would be \$371,680.

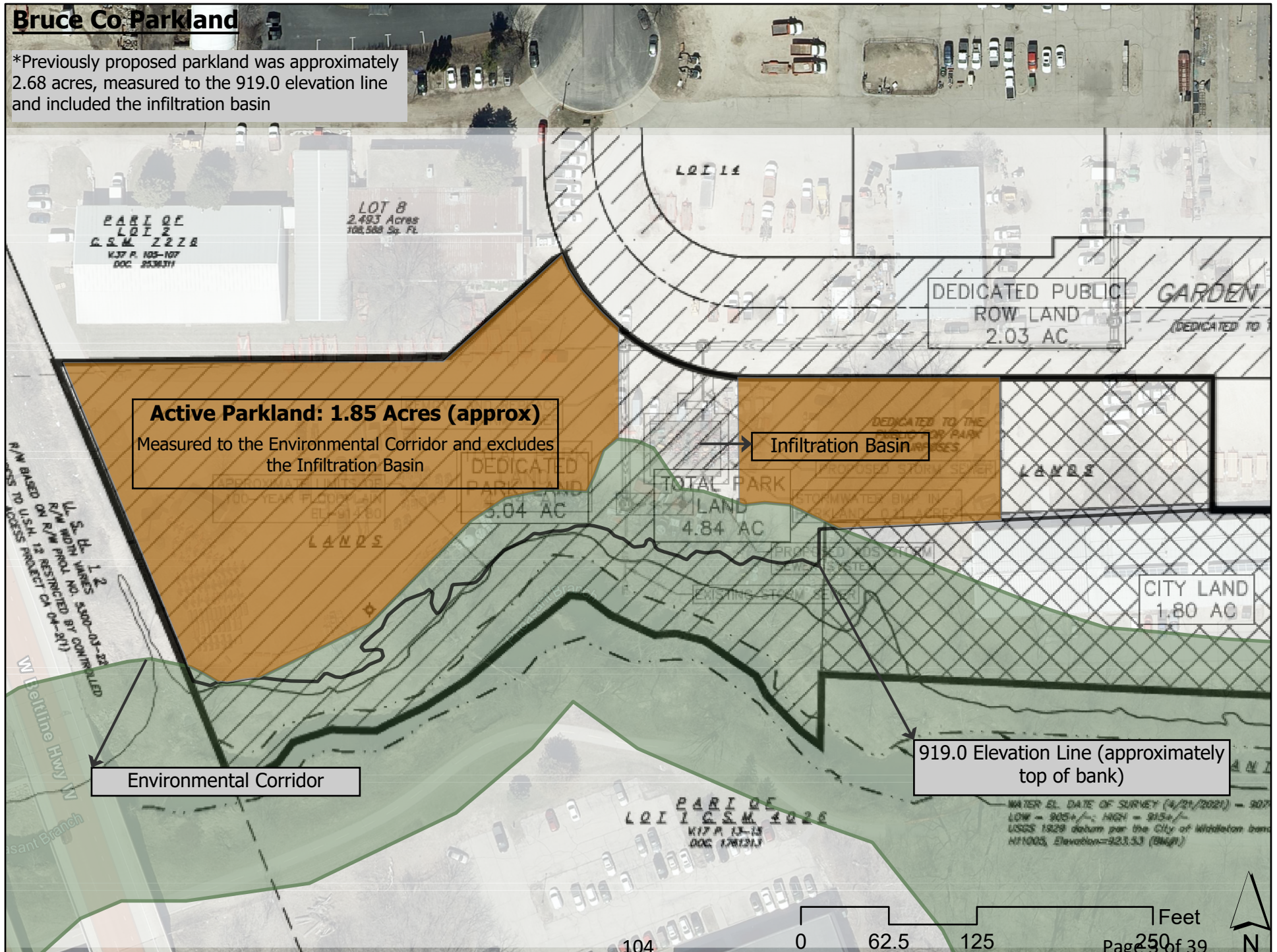
2. **LAND SWAP** - The developer is proposing a land swap, which includes trading a portion of the Latitude Graphics property, located at 2610 Parmenter Street, with a portion of the Sampler Square property, located at 2624 Parmenter Street. The developer is also proposing a shared parking lot that would serve the park and their proposed mixed-use building.
 - The Parks, Recreation, and Forestry Commission recommended against the land swap due to concerns that the park would not have visibility or frontage on Parmenter Street, which results in a neighborhood-style park rather than a community park that can provide more programming space to our residents.
 - The Parks, Recreation, and Forestry Commission also recommended against accepting the request to have a shared parking lot on the city parcel due to concerns about limiting the city parcel's use as parkland.
3. **STORMWATER MANAGEMENT ON PUBLIC LAND** - The developer is showing some of their stormwater management to occur underground on land which is proposed as public parkland.
 - The Parks, Recreation, and Forestry Commission recommended allowing an easement over the stormwater management area to occur on parkland provided that the land is not counted toward parkland dedication requirements.
4. **OUTLOT ON PUBLIC LAND** – The developer had previously proposed a 25 square foot outlot on the land that would be dedicated as public parkland. The developer's intent in proposing this outlot was to erect signage that would signify the land was donated to the City by the developer. However, this land is being dedicated to meet the developer's obligations for parkland dedication, and therefore should not be treated as a donation because it is required for every development project in the City that is adding housing units.
 - The developer has withdrawn this request and submitted a new preliminary plat on 06/07/24 which removes this proposed outlot.
 - Any signage proposed on private property on adjacent parcels will be subject to the [City's Sign Code](#).
 - No action necessary on this item as it is no longer being pursued.

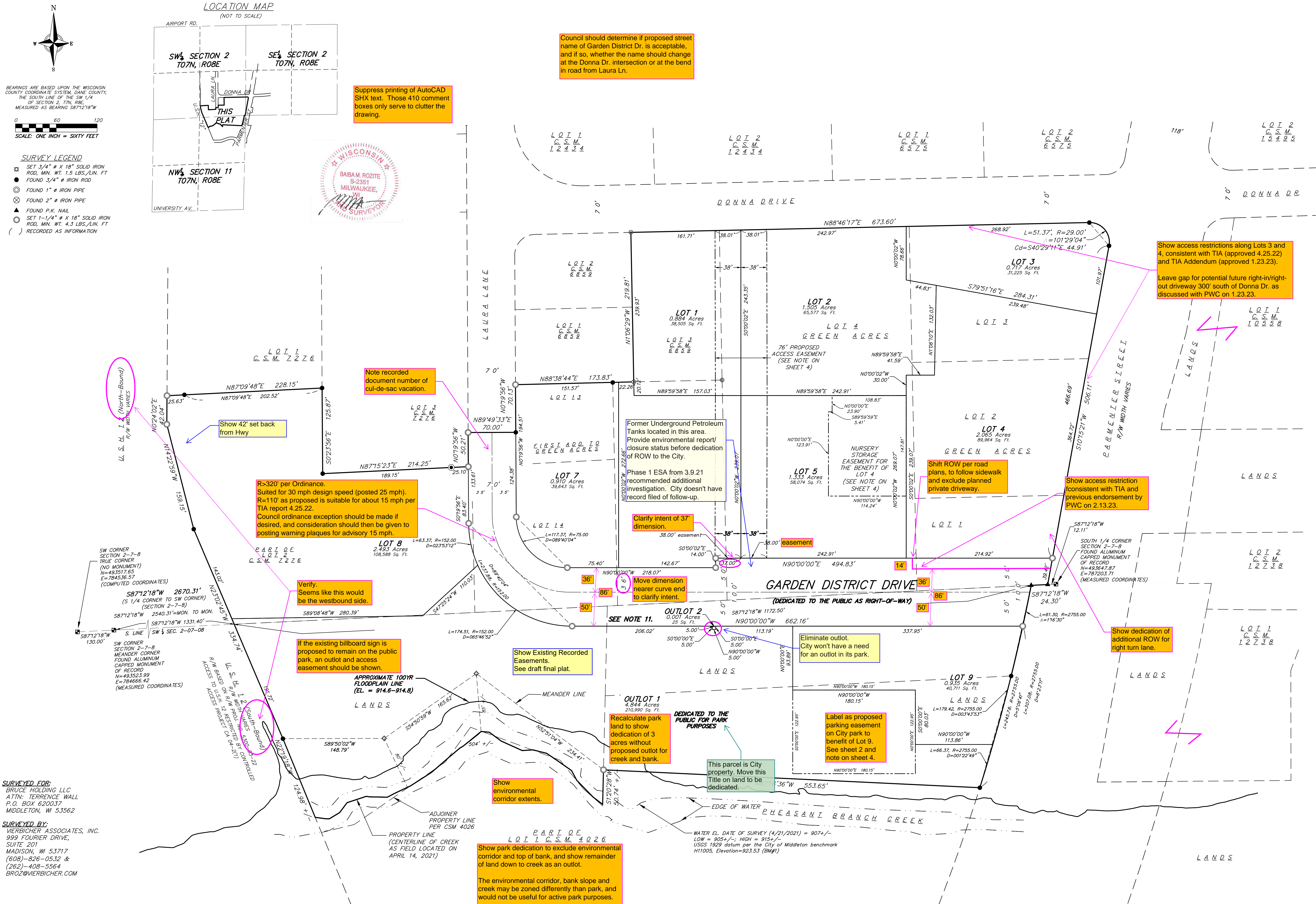
RECOMMENDATION: The Plan Commission should consider the Parks, Recreation, and Forestry Commission's recommendations from their 06/17/24 meeting and provide a recommendation to the Common Council:

1. Only active parkland be counted toward the 3-acre parkland dedication requirement. This means that the following land would be excluded by the 3-acre calculations:
 - Proposed underground detention/infiltration facility easement - about 0.25 acres of land
 - Creek corridor and banks - about 0.6 acres of land
 - Create a buffer from the top of slope at 919' to where the dedicated parkland begins.
 - [Environmental Corridor](#) - roughly 1.0 acres of land
2. The remaining deficit from the negotiated 3-acre parkland dedication requirement be made up by paying fees in lieu of land dedication.
3. Not accept the request to swap lands to allow City to retain ownership of Parmenter Road frontage.
4. Not accept the request to have a shared parking lot on the city parcel, remove from the city owned parcel to be used for future parkland.

Bruce Co Parkland

*Previously proposed parkland was approximately 2.68 acres, measured to the 919.0 elevation line and included the infiltration basin











0 60 120

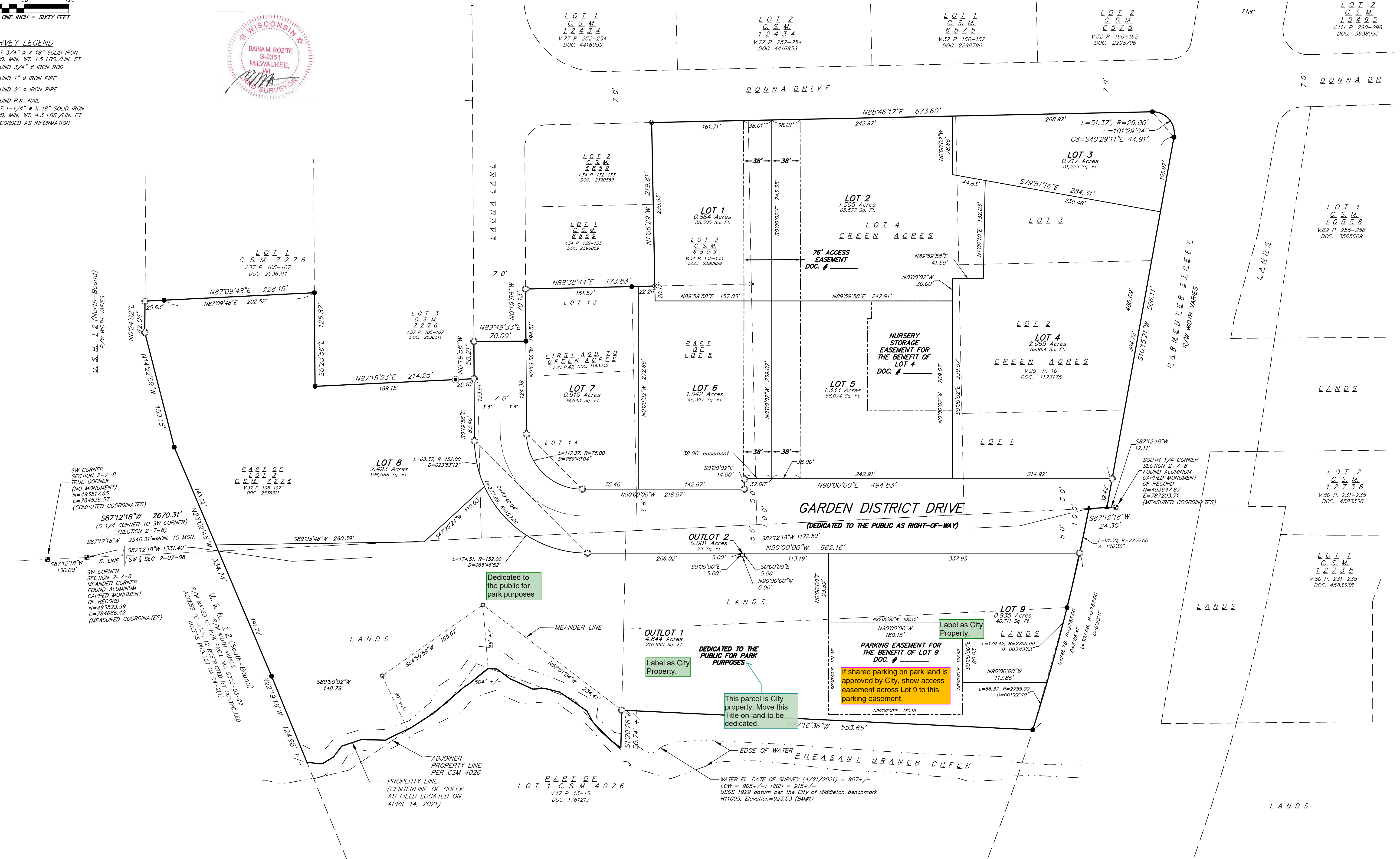
SCALE: ONE INCH = SIXTY FEET

SURVEY LEGEND

-  SET 3/4" ϕ X 18" SOLID IRON
 ROD, MIN. WT. 1.5 LBS./LIN. FT.
 FOUND 3/4" ϕ IRON ROD
 FOUND 1" ϕ IRON PIPE
 FOUND 2" ϕ IRON PIPE
 FOUND P.K. NAIL
 SET 1-1/4" ϕ X 18" SOLID IRON
 ROD, MIN. WT. 4.3 LBS./LIN. FT.
 () RECORDED AS INFORMATION



If this sheet is provided just to show recording information of lots and the three proposed easement areas, consider showing this small amount of extra information on sheet 1 (the easements are shown there anyway), and eliminate this sheet.



REVISIONS			REVISIONS		
NO.	DATE	REMARKS	NO.	DATE	REMARKS

SCALE
1" = 60'

DATE
1/16/2024

DRAFTER

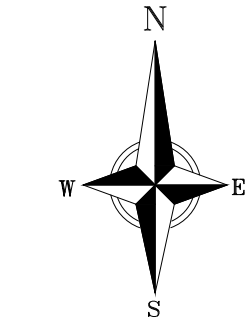
CHECKED

PROJECT NO.	
-------------	--

SHEET

2 OF

DWG. NO.



BEARINGS ARE BASED UPON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE SOUTH LINE OF THE SW 1/4 OF SECTION 2, T7N, R5E, MEASURED AS BEARING S87°12'18"W

EXISTING BOLLARD
EXISTING FLAG POLE
EXISTING MAILBOX
EXISTING MONITORING WELL
EXISTING POST
EXISTING SIGN (TYPE NOTED)
EXISTING SHRUB
EXISTING CONIFEROUS TREE
EXISTING DECIDUOUS TREE

EXISTING CURB INLET
EXISTING ENDWALL
EXISTING FIELD INLET RECTANGULAR
EXISTING FIELD INLET
EXISTING ROOF DRAIN CLEANOUT
EXISTING ROOF DRAIN
EXISTING STORM MANHOLE
EXISTING STORM MANHOLE RECTANGULAR
EXISTING SANITARY CLEANOUT
EXISTING SANITARY MANHOLE

TOPOGRAPHIC SYMBOL LEGEND

EXISTING FIRE HYDRANT
EXISTING FIRE DEPARTMENT CONNECTION
EXISTING WATER MAIN VALVE
EXISTING CURB STOP
EXISTING WATER MANHOLE
EXISTING GAS VALVE
EXISTING GAS METER
EXISTING AIR CONDITIONING PEDESTAL
EXISTING DOWN GUY
EXISTING ELECTRIC MANHOLE
EXISTING ELECTRIC RECTANGULAR MANHOLE
EXISTING ELECTRIC PEDESTAL
EXISTING TRANSFORMER
EXISTING ELECTRIC METER
EXISTING GUY POLE
EXISTING LIGHT POLE
EXISTING GENERIC LIGHT
EXISTING UTILITY POLE
EXISTING TV MANHOLE
EXISTING TV RECTANGULAR MANHOLE

EXISTING TV PEDESTAL
EXISTING TELEPHONE MANHOLE
EXISTING TELEPHONE PEDESTAL
EXISTING HANDICAP PARKING
EXISTING TRAFFIC SIGNAL

TOPOGRAPHIC LINEWORK LEGEND

EXISTING EDGE OF TREES
EXISTING RETAINING WALL
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING UNDERGROUND TELEPHONE
EXISTING FIBER OPTIC LINE
EXISTING OVERHEAD TELEPHONE LINE
EXISTING CHAIN LINK FENCE
EXISTING GENERAL FENCE
EXISTING WOOD FENCE
EXISTING GAS LINE
EXISTING UNDERGROUND ELECTRIC LINE
EXISTING GUY LINE
EXISTING OVERHEAD ELECTRIC LINE
EXISTING UNDERGROUND GENERAL UTILITIES
EXISTING OVERHEAD CABLE TV
EXISTING UNDERGROUND CABLE TV
EXISTING WATER MAIN (SIZE NOTED)
EXISTING SANITARY SEWER LINE (SIZE NOTED)
EXISTING STORM SEWER LINE (SIZE NOTED)

HATCHING LEGEND

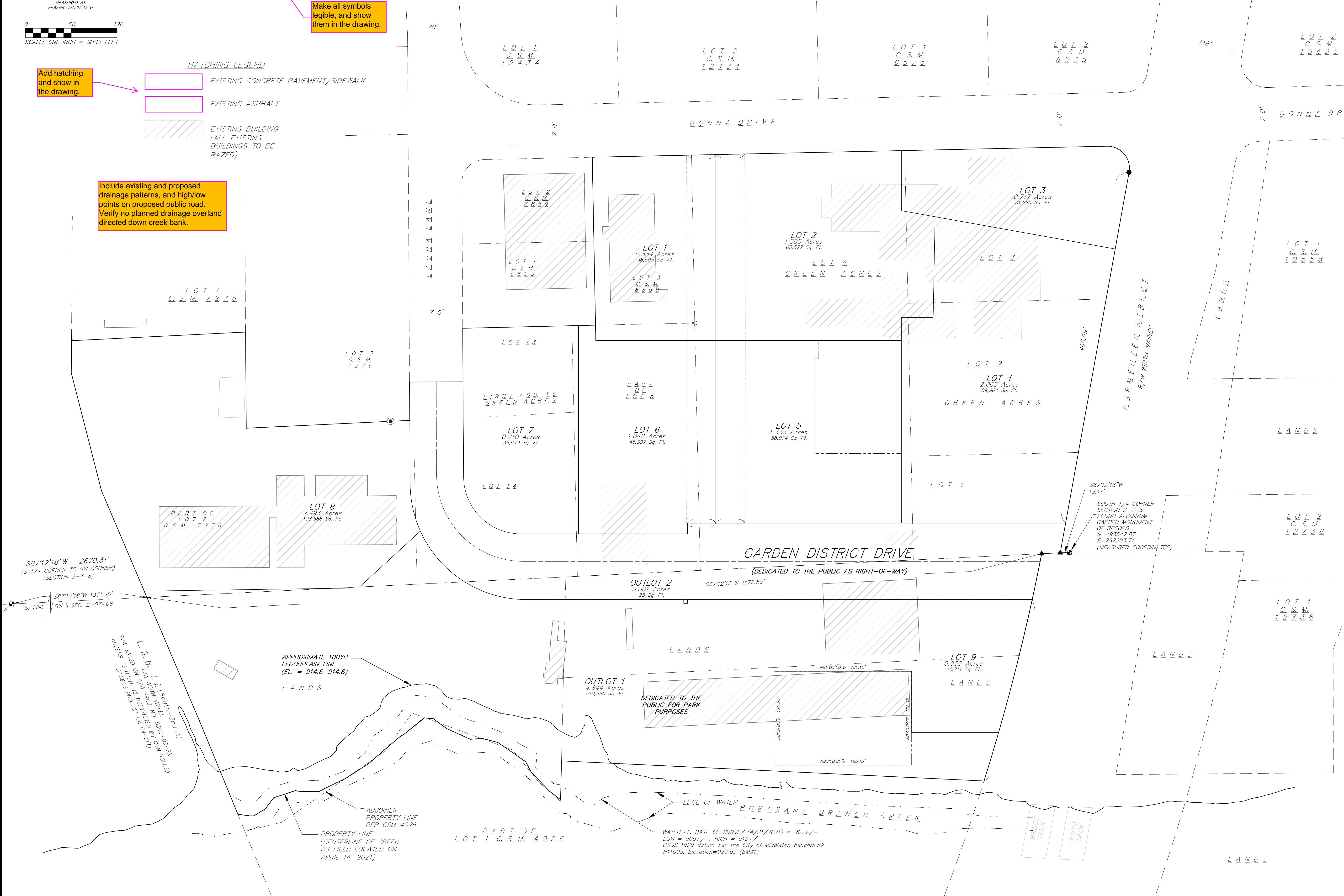
EXISTING CONCRETE PAVEMENT/SIDEWALK
EXISTING ASPHALT
EXISTING BUILDING (ALL EXISTING BUILDINGS TO BE RAZED)

Add hatching and show in the drawing.

Include existing and proposed drainage patterns, and high/low points on proposed public road. Verify no planned drainage overlaid directed down creek bank.

Make all symbols legible, and show them in the drawing.

Make all linetypes legible, and show them in the drawing.



PRELIMINARY PLAT OF GARDEN DISTRICT PLAT

REVISIONS	NO.	DATE	REMARKS

SCALE	1" = 60'
DATE	1/16/2024
DRAFTER	BROZ
CHECKED	MZIE
PROJECT NO.	180386
SHEET	3 OF 4
DWG. NO.	

LOTS 1 - 4 AND PART OF LOT 5, GREEN ACRES, RECORDED IN V. 29 ON P. 10 AS DOC. NO. 1123175; LOTS 13 - 14, FIRST ADDITION TO GREEN ACRES, RECORDED IN V. 30 ON P. 42 AS DOC. NO. 144336; PART OF LOT 2 OF CERTIFIED SURVEY MAP NO. 7276, RECORDED IN V. 37 ON P. 105-107 AS DOC. NO. 253631; LOT 3 OF CERTIFIED SURVEY MAP NO. 7276, RECORDED IN V. 37 ON P. 105-107 AS DOC. NO. 253631; AND LANDS IN THE SE 1/4 OF SECTION 2, TOWNSHIP 7 NORTH, RANGE 8 EAST, AND LANDS IN THE NE 1/4 OF SECTION 11, TOWNSHIP 7 NORTH, RANGE 8 EAST, IN THE CITY OF MIDDLETON, DANE COUNTY, WISCONSIN.

NOTES:

1. This survey was prepared based upon information provided in the First American Title Insurance Company Title Commitment ~~NO~~, NCS-1045654-MAD, dated January 06, 2021 at 7:30 AM, and NCS-939072-MAD, dated March 29, 2021 at 8:00 AM as issued by First American Title Insurance Company National Commercial Services, 25 West Main Street, Suite 400, Madison, WI 53703.
2. This survey is based upon field survey work performed in March and April, 2021. Any changes in site conditions after April 21, 2021 are not reflected by this survey.
3. This map is referenced to the Wisconsin County Coordinate System--Dane Zone, NAD 83 (2011). Elevations are based upon USGS 1929 datum per the City of Middleton benchmark H11005, Elevation=923.53 (BM#1).
4. All underground utilities have been located per markings placed on the ground or maps provided by the utilities (owners) and/or their authorized representatives. Markings are per Digger's Hotline ticket #202101401147, #202101401163, #202101401176, #202101401218, #202101401224, #202101401231, #202101401238, #202101401257, #202101401263, #202101401271, #202101401277, #202101401280, #202101401300, #202101401307, #202101401316, and #202101401350. No private locate request was made. Vierbicher does not warrant the locations marked or mapped by others.
5. Sanitary sewer, storm sewer and water structures were surveyed, unless otherwise noted.
6. No attempt has been made as a part of this survey to obtain or show data concerning condition, or capacity of any utility or municipal/public service facility. For information regarding these utilities contact the appropriate agencies.
7. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, or ownership title evidence.
8. All existing buildings within the plat boundaries will be razed.
9. The total plot area is 817,156 square feet or 18.76 acres, including the meander lands.
10. Driveway access to Lot 4 from Garden District Drive shall be permitted no closer than ~~25'~~ from the Parmenter Street Right of Way.

~~H1. Outlot 2 is reserved for private signage purposes.~~

42' HIGHWAY SETBACK NOTE:

No improvements or structures are allowed between the right-of-way and the setback line. Improvements include but are not limited to signs, parking lots, parallel driveways, wells, septic systems, drainage facilities, etc., it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to section 236.293, Wisconsin Statutes and shall be enforceable by the Department of Transportation. Contact the Wisconsin Department of Transportation District office for more information. The phone number may be obtained by contacting your County Highway Department.

NOISE NOTE:

The lots of this land division may experience noise at levels exceeding the levels in s. Trans 405.04, Table I. These levels are based on federal standards. The Department of Transportation is not responsible for abating noise from existing state trunk highways or connecting highways, in the absence of any increase by the Department to the highway's through-lane capacity.

NURSERY STORAGE EASEMENT:

The Nursery Storage Easement shown on Lot 5 for the benefit of Lot 4....{add conditions, restrictions, terms, etc. here}

PROPOSED ACCESS EASEMENT:

The Proposed Access Easement shown on Lots 1, 2, 5 and 6{add conditions, restrictions, terms, etc. here}

Add note for proposed parking (and access?) easement on public park to benefit Lot 9.

Update to show any changes that would affect ownership or lot lines in past 3 years.

For consistency through City, please provide benchmark(s) to NAVD88 datum.

See note on plat to show access restrictions along Donna, Parmenter and Garden District, and show that dimension here.

Fill in blanks.

LEGAL DESCRIPTION:

Lots 1 – 4 and part of Lot 5, Green Acres, recorded in V. 29 of Plats on P. 10 as Document No. 1123175; Lots 13 – 14, First Addition to Green Acres, recorded in V. 30 of Plats on P. 42 as Document No. 1143335; part of Lot 2 of Certified Survey Map No. 7276, recorded in V. 37 of CSMs on P. 105-107 as Document No. 2536311; Lot 3 of Certified Survey Map No. 6859, recorded in V. 34 of CSMs on P. 132-133 as Document No. 2390859, part of vacated Laura Lane, vacated per Resolution No. _____ and recorded at the Office of the Register of Deeds for Dane County as Document No. _____, located in the Southeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ and the Southwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 2, and lands in the Northeast $\frac{1}{4}$ of the Northwest $\frac{1}{4}$ of Section 11, Township 7 North, Range 8 East, in the City of Middleton, Dane County, Wisconsin, bounded and described as follows:

Commencing at the South $\frac{1}{4}$ corner of said Section 2; thence South 87°12'18" West, 12.11 feet along the south line of the Southwest $\frac{1}{4}$ of said Section 2 to the westerly right-of-way line of Parmenter Street and to the point of beginning; continue thence South 87°12'18" West, 24.30 feet along said south line and said right-of-way line to the beginning of a 2755.00 foot radius non-tangent curve to the right whose chord bears South 14°14'00" West, 306.92 feet; thence southerly 307.08 feet along the arc of said curve and along said westerly right-of-way line to the north line of Lot 1 of Certified Survey Map No. 4026, recorded in V. 17 of CSMs on P. 13-15 as Document No. 1761213; thence North 87°16'36" West, 553.65 feet along said north line to the beginning of a meander line of Pheasant Branch Creek, lying North 1°20'28" East, 50.74 feet +/- from the centerline of said Pheasant Branch Creek; thence North 52°51'04" West, 234.41 feet along said meander line; thence South 54°50'59" West, 165.62 feet along said meander line; thence South 89°50'02" West, 148.79 feet along said meander line to the end thereof and to the easterly right-of-way line of U.S.H. "12," being North 22°19'18" West, 124.98 feet +/- from the centerline of said Pheasant Branch Creek; thence North 23°02'45" West, 334.74 feet along said easterly right-of-way line; thence North 14°22'59" West, 159.15 feet along said easterly right-of-way line; thence North 0°24'02" East, 42.04 feet along said easterly right-of-way line to the south line of Lot 1 of aforesaid Certified Survey Map No. 7276; thence North 87°09'48" East, 228.15 feet along said south line to the west line of Lot 3 of said Certified Survey Map No. 7276; thence South 0°23'56" East, 125.87 feet along said west line to the southwest corner of said Lot 3; thence North 87°15'23" East, 214.25 feet along the south line of said Lot 3 to the southeast corner thereof; thence North 0°19'56" West, 50.21 feet along the east line of said Lot 3; thence North 89°49'33" East, 70.00 feet to the east right-of-way line of Laura Lane; thence North 0°19'56" West, 70.13 feet along said east right-of-way line to the south line of Lot 1 of Certified Survey Map No. 6859, recorded in V. 34 of CSMs on P. 132-133, as Document No. 2390859; thence North 88°38'44" East, 173.83 feet along said south line to the east line of said Lot 1; thence North 1°06'29" West, 219.81 feet along said east line and the east line of Lot 2 of said Certified Survey Map No. 6859 to the southerly right-of-way line of Donna Drive; thence North 88°46'17" East, 673.60 feet along said southerly right-of-way line to the beginning of a 29.00 foot radius curve to the right whose chord bears South 40°29'11" East, 44.91 feet; thence southeasterly 51.37 feet along the arc of said curve and said southerly right-of-way line to the aforesaid westerly right-of-way line of Parmenter Street; thence South 10°15'21" West, 506.11 feet along said westerly right-of-way line to the point of beginning. Also including the lands lying between the above-described meander line and the centerline of Pheasant Branch Creek.

Said parcel contains a total of 817,156 square feet or 18.76 acres of land, more or less to the centerline of Pheasant Branch Creek (781,318 square feet or 17.94 acres of land excluding the meander lands).

SURVEYOR'S CERTIFICATE:

I, Baiba M. Rozite, Professional Land Surveyor No. 2351, hereby certify that I have surveyed and mapped the above described property in accordance with information furnished, under the direction of the developer listed hereon and that this preliminary plat is in full compliance with the provisions of Section 236 of the Wisconsin Statutes regarding Preliminary Plats and the subdivision regulations of the City of Middleton; and that the above map is an accurately scaled and dimensioned representation of such survey showing the location of the exterior boundaries, improvements and easements to the best of my knowledge and belief.

Vierbicher Associates Inc.
By: Baiba M. Rozite, PLS – 2351
Dated this 21st day of December, 2023



MEMORANDUM

Parks & Recreation – City of Middleton

DATE: 6/14/24
To: PRFC
FROM: Kiley Scherer, Director of Parks and Recreation
SUBJECT: **Bruce Company Garden District Preliminary Plat - Parkland Dedication Requirement**



BACKGROUND:

The Plan Commission has referred the preliminary plat for the Bruce Company Garden District Redevelopment to the Parks, Recreation and Forestry Commission for recommendation to the Plan Commission and Common Council for the resolution of the identified policy issues related to the parkland dedication requirement.

The City parkland dedication requirement based on City Ordinance for this redevelopment site is approximately 20 acres of land based on the 600 housing units or approximately \$1,276,600 based on 400 smaller units and 200 larger units. The estimated park improvement fee requirement would be \$547,200 based on 400 smaller units and 200 larger units. After consideration of the total acreage of the site, the Common Council (08/17/21) approved dedication of a minimum of 3-acres of parkland in order to fulfill the parkland dedication requirement for the project. This requirement has been substantially reduced from the original requirement of approximately 20 acres due to the total acreage of the redevelopment site being less than 20 acres.

The policy issues which our staff have identified are:

1. **ACTIVE PARKLAND DEDICATION & ACREAGE** - The Common Council (08/17/21) approved dedication of a minimum of 3-acres of parkland in order to fulfill the parkland dedication requirements for this project. Separately, they approved dedication of the creek corridor so the city can access the creek for maintenance. The developer is proposing that the creek corridor be counted towards the 3-acre

requirement, but past practice is to only count active parkland towards dedication requirements.

- Section 19.06(3)(k) includes City standards for dedication of parks and public sites.
- Recently the City rejected a developers request to dedicate land that was not usable for active recreational purposes to meet their acreage requirement. The City was open to accepting the additional wetland for improving the City's watershed management but the acreage would not count towards the parkland dedication requirement. It is recommended by City staff that we are equitable in our practices of accepting parkland.
- Staff is also concerned that the minimum 3-acre parkland dedication requirement as established by the Common Council is not met under this proposal because portions of the Pheasant Branch Creek Corridor, which was separately intended to be dedicated for maintenance along the creek corridor, appears to be counted toward the active parkland requirements.
 - Areas that include wetlands, steep slopes, and floodplain areas are not suitable for the intense level of activity that City parks must accommodate, and they do not help the City meet its goal of providing more open play areas and athletic fields.
- Staff is concerned with accepting lands for parkland dedication that have the following attributes as they do not support active recreational use:
 - Floodways mapped by FEMA on its FIRM maps
 - 100-year floodplains mapped by FEMA on its FIRM maps
 - Drainageways identified as perennial streams or intermittent streams of USGS maps or Dan County hydrography mapping – without a 25 foot wide buffer on each side of the intermittent stream and without a 50-foot wide buffer on each side of a perennial stream
 - Steep slopes equal to or greater than 12 percent identified on Dane County topographic mapping.
 - Containing any stormwater management area or facility such as a stormwater basin, infiltration area, manmade or naturally occurring channel
- Staff have included maps to illustrate proposed parkland dedication with amounts:
 - Proposed parkland dedication as measured to the property line is 3.04 acres.
 - Proposed UG detention/infiltration facility easement to occupy approximately 0.25 acres of dedicated parkland
 - Proposed shared parking lot to occupy approximately .04 acres of the Latitude Graphics site.
 - Latitude Graphics site is a city owned parcel that equates to 1.8 acres.
 - Roughly 0.6 acres of the proposed dedicated land and 0.25 acres of the Latitude Graphics site are occupied by the banks of the creek.
 - The environmental corridor extends beyond the creek banks and occupies roughly 1.0 acres of dedicated land and 0.45 acres of the Latitude Graphics parcel.

2. LAND SWAP & REDUCTION OF FRONTAGE - The developer is proposing a land swap, which includes trading a portion of the Latitude Graphics property, located at 2610 Parmenter Street, with a portion of the Sampler Square property, located at 2624 Parmenter Street.

- On 10/03/22, the Parks, Recreation, and Forestry Commission discussed the land swap and was supportive, but would like to ensure that if the land swap proceeds that the developer be restricted to using the land in some format of public private partnership that will be mutually beneficial to the city/park and development.
- Staff has concerns with proceeding with the land swap at the time of the preliminary plat because:
 - If the land swap proceeds, the park would not have visibility or frontage on Parmenter Street, which results in a neighborhood-style park rather than a community park that can provide more programming space to our residents. Parkland should have roughly 200 feet along one street for neighborhood parks and frontage along two streets for community parks.
 - Based off of our approved Comprehensive Outdoor Recreation plan, the City is delinquent in community park space.
 - The Latitude Graphics building has active leases and tenants who are continuing to operate their businesses. Some of the leases go through summer of 2028.

3. STORMWATER MANAGEMENT ON PUBLIC LAND - The developer is showing some of their stormwater management to occur underground on land which is proposed as public parkland.

- On 09/07/21, the Common Council approved the GIP with a condition stating “Any stormwater features should be on private property – not public.” This condition was proposed by the Conservancy Lands Commission at their 07/28/21 meeting. The Parks, Recreation, and Forestry Commission also discussed management of stormwater on parkland at their 08/02/21 meeting, and as the minutes indicate “Terrence Wall stated the private development will be able to manage stormwater outside of the parkland.”
- The Common Council had several discussions about parkland dedication requirements, and eventually settled on allowing the project to proceed while dedicating a minimum of 3 acres of public parkland, a substantial reduction of the typical requirements due to the total redevelopment site acreage being less than the acreage requirement.
- Staff remains concerned that stormwater management is within this public park:
 - Sets a precedent for allowing this on future projects.
 - Limits the usability of the public park. Underground stormwater management would require any features with footings/foundation to be outside of the stormwater management area.
 - Creates complications in maintaining the stormwater system.
 - Could lead to contamination of the park.

- Finance Committee (02/06/24) requested general input from three Committees/Commissions on potential risks of having stormwater management facilities on public land:
 - Public Works Committee (02/12/24)
 - Water Resources Management Commission (02/21/24)
 - Park, Recreation, and Forestry Commission will be considering this (03/04/24)
 - Refer to Erik Sorensen's, Assistant Public Works Director/ Assistant City Engineer, attached memo outlining his staff review of the proposed private stormwater facility.
 - Approximately 0.25 acres of the dedicated parkland is proposed to be utilized by the private UG detention/infiltration facility which will restrict the use of the land for park infrastructure.
 - Locating the private UG detention/infiltration facility within the proposed public park appears to be an efficient design solution for the development.
- 4. PARKING LOT** - The developer is showing a "shared" parking lot on the Latitude Graphics site which is City owned property with the intended future use for parkland.
- The shared parking lot equates to roughly 0.4 acres of the city owned parcel and encroaches on the environmental corridor.
 - Staff is concerned that there would not be space for a trail or pathway to enter from Parmenter as there may not be enough room for a 10-foot-wide path to be on city property and far enough from the top of slope to be constructed.
 - The park has not been planned out so a parking lot could potentially limit the design of the park.
 - There are several public parking spaces along the public road to support users of the park without the parking lot.

RECOMMENDATION:

Staff Recommends that the Parks, Recreation, and Forestry Commission Recommend to Plan Commission and Common Council that the dedicated parkland meet the 3-acre requirement set by Common Council with the following stipulations:

1. 3 acres of unencumbered land
2. Dedicated parkland to exclude the proposed land swap. City retain ownership of frontage property, entire 1.8 city owned parcel.
3. Not supportive of the proposed shared parking lot on the City parcel intended for future parkland.
4. 0.25 acres necessary for the private UG detention/infiltration facility maintenance easement be dedicated land to the City and excluded from the parkland dedication requirement with a fee in lieu of assessed for the 0.25 acres.
5. The slope portion of the property, from the south property line to top of slope at the 919' slope elevation, be dedicated land to the City and excluded from the parkland dedication requirement with a fee in lieu of assessed for the approximate 0.6 acres.

ENCLOSURES:

1. Memo prepared by Erik Sorensen Related to Private Stormwater Facilities on Parkland
2. Preliminary Plat with Staff Comments
3. Proposed Parkland Dedication Maps
4. Project Meeting Minutes

PARKS, RECREATION, & FORESTRY COMMISSION

CITY OF MIDDLETON

Monday, June 17, 2024 - 7:00 PM

City Hall – Conf. Room B (Hybrid)

MEETING MINUTES

Meeting materials available at: <https://www.cityofmiddleton.us/112/Agendas-Minutes>

CALL TO ORDER & ROLL CALL:

Nick Adams, Chair, called the meeting to order at 7:00 p.m.

Members Present:

Nick Adams – Chair
David Shaw – Vice Chair
Katy Nelson – Common Council Member
Erica Pollek
Ines Senechal – Student Member

Members Absent:

Jamie O'Donnell

Staff Present:

Kiley Scherer – Director of Parks and Recreation
Kevin Short – Assistant Director of Parks & Recreation – Field Services
Erik Sorensen – Assistant Director of Public Works & Assistant City Engineer

MEETING MINUTES OF June 3, 2024:

There were no requests for changes, so Adams declared the meeting minutes accepted as prepared.

AGENDA ITEMS:

ITEM #1: Staff Introductions

Josh Williams was introduced as the newly hired Recreation Coordinator.

ITEM #2: Preliminary Plat – Garden District (Bruce Company Redevelopment), Multiple Parcels on Parmenter Street, Donna Drive, and Laura Lane (PC-2614) (PC 2/27/24, PRFC 3/4/24)

Scherer and Sorensen reviewed their staff memos to provide further information on the parkland dedication related to the Garden District Redevelopment and the identified policy issues with parkland acreage requirement, land swap and reduction of frontage, private stormwater management on public lands, and shared parking lot.

Moved by Shaw, seconded by Nelson, to recommend the following to Plan Commission and Common Council:

1. Only active parkland be counted toward the 3-acre parkland dedication requirement. This means that the following land would be excluded by the 3-acre calculations:
 - Proposed underground detention/infiltration facility easement - about 0.25 acres of land
 - Creek corridor and banks - about 0.6 acres of land
 - o Create a buffer from the top of slope at 919' to where the dedicated parkland begins.
 - [Environmental Corridor](#) - roughly 1.0 acres of land
2. The remaining deficit from the negotiated 3-acre parkland dedication requirement be made up by paying fees in lieu of land dedication.
3. Not accept the request to swap lands to allow City to retain ownership of Parmenter Road frontage.
4. Not accept the request to have a shared parking lot on the city parcel, remove from the city owned parcel to be used for future parkland.

Motion passed 5-0.

ITEM #3: Resolution 2024-28 Approving an Amendment to the 2024 Budget for a Department of Natural Resources Grant for Parks Projects

Short provided an overview of the Department of Natural Resources grant and projects that it supports with a 50% funding match to be reimbursed at completion. Short recommended to use the funding to support spongy moth suppression efforts, installation of a gravel bed tree nursery and an update to the street tree inventory.

Moved by Nelson, seconded by Shaw, to recommend approval of Resolution 2024-28 approving an amendment to the 2024 budget for a Department of Natural Resources Grant to Finance & Personnel Committee and the Common Council.

Motion passed 5-0.

ITEM #4: Agreement with Bluestem Forestry Consultants, Inc. for Professional Services to Complete a Street Tree Inventory (PRFC 6/17/24)

Short provided an overview of the project and map of the area to be inventoried for street trees. The budget limits the ability to complete the entire street tree inventory for 2024. More funds will be requested to complete a full inventory of parks and street trees.

Moved by Nelson, seconded by Shaw, to recommend approval of the agreement with Bluestem Forestry Consultants, Inc. for Professional Services to complete a street tree inventory to Finance & Personnel Committee and the Common Council.

Motion passed 5-0.

ITEM #5: Bell Farms Phase 1 Future Parkland Topsoil Stockpile Workplan

Scherer provided an overview of the workplan to include sampling of the soil with a report to be approved by staff prior to having topsoil placed on parkland area. The fill material will raise the land up by approximately seven inches.

Moved by Nelson, seconded by Pollek, to approve the excess fill material to be placed on the parkland pending a favorable testing analysis and report of the material.

Motion passed 5-0.

ITEM #6: Liaison Reports (No Discussion or Action)

1. Plan Commission (Adams) – Provided brief overview of the previous meeting.
2. Conservancy Lands Committee (Shaw) – No report.
3. Water Resources Management Commission (Shaw) – No report.
4. Community Campus Committee (Pollek) – There is an upcoming meeting scheduled. No report.

ADJOURNMENT:

Adams declared the meeting adjourned at 8:55 p.m.

NOTE: These minutes were prepared by Kiley Scherer, Director of Parks and Recreation, and are not final until they are formally approved at a subsequent meeting.

MEMORANDUM

Public Works Department – City of Middleton



DATE: June 13, 2024
TO: Parks, Recreation & Forestry Commission
FROM: Erik Sorensen, Asst. Dir. Public Works / Asst. City Engineer
SUBJECT: **Bruce Company Site Redevelopment (PC-2614)**

Per PRFC's request from the Monday, March 4, 2024 meeting, I reviewed a conceptual stormwater management plan for subject development submitted by the developer on June 5, 2024. As I understand it, PRFC's main concern is with locating a private stormwater facility within the proposed public parkland and any resulting restrictions on parkland use.

The developer's argument for planning a stormwater facility within the proposed parkland is that the soils are favorable for infiltration and recharge in that location. These favorable soils appear to exist within a portion of the parkland and along the eastern edge of the site (near Parmenter St.). Opportunities for infiltration and recharge are limited elsewhere on site – both by poor soil conditions and by the density of the proposed development.

In the conceptual stormwater design, the developer is utilizing these two favorable areas. Approximately 3.4 acres are directed to biofilters along the eastern portion of the site. The bulk of the remaining site (the "western" watersheds including approximately 12 acres), is directed to an underground (UG) detention facility beneath the private parking area which bisects the site. That UG detention facility then drains through another UG detention/infiltration facility located within the parkland. See attached watershed map with my notes marked upon it. The analysis includes the entire site, including public ROW but excluding most of the parkland area. The "shared parking lot", which occupies 0.4 acres of the parkland, is included in the analysis and is directed through one of the eastern biofilters.

The conceptual design is driven primarily by a provision of the Dane County Ordinance, which for re-development sites requires that the first ½-inch of runoff pass through green infrastructure. The eastern biofilters are intended to meet that requirement for the watersheds they serve, but for the bulk of the site the green infrastructure is provided by the UG detention/infiltration facility located within the parkland.

The conceptual design appears to be efficient. Alternatives include providing multiple surface features, green roofs, or some combination thereof within the western watersheds. The developer's team has indicated these alternatives would add significant cost.

This is a concept plan, hence there are numerous minor concerns with the modeling, and future detailed plans for each phase can be expected to result in changes to the design. Phasing/timing of the redevelopment may also force changes to the overall design. Our Dane County reviewer has not had the opportunity to review this concept plan, and he may recommend changes. All of that said, it appears the

proposed redevelopment will be able to meet stormwater requirements with the conceptual design as presented.

Items for PRFC to consider are listed below:

1. Locating the private UG detention/infiltration facility within the proposed public parkland appears to be an efficient design solution.
2. Impervious surfaces eventually constructed within the parkland will require installation of their own stormwater management features.
3. In planning for proposed park features and space needs, PRFC should consider the space needed for stormwater management and environmental corridor along with other encroachments. The developer is proposing 3.04 acres of parkland dedication, coupled with 1.8 acres from the City-owned Latitude Graphics site. A land swap is proposed involving the Latitude Graphics site which does not change the net acreages.
 - A. Roughly 0.6 acres of the dedication and 0.25 acres of the Latitude Graphics site are occupied by the banks of the creek. Essentially no grading or development should occur within the creek banks.
 - B. The environmental corridor would extend beyond the creek banks (75 ft. from the Ordinary High Water Mark). The environmental corridor would occupy roughly 1.0 acres of the dedication and 0.45 acres of the Latitude Graphics parcel. No impervious areas would be allowed within the environmental corridor.
 - C. In locating the private UG detention/infiltration facility within the public parkland, I estimate the restrictions on parkland development and necessary stormwater easement would occupy approximately 0.25 acres of the parkland.
 - D. As currently depicted, the “shared parking lot” within watershed 9 occupies about 0.4 acres of the Latitude Graphics site and also encroaches into the environmental corridor.

encl: Watershed Map Mark-Up

cc: Kiley Scherer, Abby Attoun, Bryan Gadow, Shawn Stauske



My estimated fair market value for the Bruce Company lands is \$323,200 per acre.

For this estimate, I am taking the total assessed land value for the Bruce Company parcels (\$4,923,300) divided by the total acreage of those parcels (16.935) to arrive at the assessed value per acre of \$290,717. Next, I am converting the assessed value to fair market value using the latest published assessment ratio for commercial property in the City of Middleton, being a ratio of 89.95% (as published by the Department of Revenue). $\$290,717 / .8995 = \$323,200/\text{acre}$.

Attached are (1) the 2024 assessment roll for the Bruce Company parcels, and (2) the Department of Revenue publication showing the 2023 assessment ratio for commercial property at 89.95% of full value.

Let me know if you have any questions.

Respectfully,



Dean Peters

Vice President of Operations

Phone: 920-749-1995 ext. 8803

Direct: 920-224-8803

Email: DPeters@apraz.com

Associated Appraisal
Consultants, Inc.
W6237 Neubert Road
Appleton, WI 54913

www.apraz.com

City of Middleton, Dane County
2024 Completed Real Estate Assessment Roll
 Properties owned by The Bruce Company Of Wisconsin, Inc.
 Sorted by tax key number

Owner	Property Description	Districts	Class	Acres	Land	Impts	Total
0708-023-7201-6 THE BRUCE COMPANY OF WISCONSIN PO BOX 620330 MIDDLETON WI 53562-0330	2702 Parmenter St GREEN ACRES LOT 1 Section: 2 Acres: 0.000	Madison Metro Sewer District Scmid-CR Plains School Dist TID 5 Madison Technical CollegeATC	Assessed with 0708-023-7223-0				
0708-023-7212-3 THE BRUCE COMPANY OF WISCONSIN PO BOX 620330 MIDDLETON WI 53562-0330	2706 Parmenter St GREEN ACRES LOT 2 Section: 2 Acres: 0.000	Madison Metro Sewer District Scmid-CR Plains School Dist TID 5 Madison Technical CollegeATC	Assessed with 0708-023-7223-0				
0708-023-7223-0 THE BRUCE COMPANY OF WISCONSIN PO BOX 620330 MIDDLETON WI 53562-0330	2830 Parmenter St GREEN ACRES LOT 3 Section: 2 Acres: 0.000	Madison Metro Sewer District Scmid-CR Plains School Dist TID 5 Madison Technical CollegeATC	G2 Totals	6.530 6.530	\$2,161,400 \$2,161,400	\$1,103,900 \$1,103,900	\$3,265,300 \$3,265,300
0708-023-7234-7 THE BRUCE COMPANY OF WISCONSIN PO BOX 620330 MIDDLETON WI 53562-0330	7613 Donna Dr GREEN ACRES LOT 4 Section: 2 Acres: 0.000	Madison Metro Sewer District Scmid-CR Plains School Dist TID 5 Madison Technical CollegeATC	Assessed with 0708-023-7223-0				
0708-023-7245-4 THE BRUCE COMPANY OF WISCONSIN PO BOX 620330 MIDDLETON WI 53562-0330	2707 Laura Ln GREEN ACRES PRT LOT 5 COM S1/4 COR SEC 2-7-8 TH S88DEGW 483.65 FT TO POB TH CONT S88DEGW 161.06 FT TH N328.16 FT TH S89DEGE 161 FT TH S Section: 2 Acres: 0.000	Madison Metro Sewer District Scmid-CR Plains School Dist TID 5 Madison Technical CollegeATC	G2 Totals	1.201 1.201	\$158,500 \$158,500	\$162,500 \$162,500	\$321,000 \$321,000

Owner	Property Description	Districts	Class	Acres	Land	Impts	Total
0708-023-7262-3 THE BRUCE COMPANY OF WISCONSIN PO BOX 620330 MIDDLETON WI 53562-0330	7617 Donna Dr LOT 3 CSM 6859 CS34/132&133-9/15/92 F/K/A GREEN ACRES FIRST ADDN LOTS 11 & 12 & PT LOT 5 GREEN ACRES DESCR AS SEC 2-7-8 PRT Section: 2 Acres: 0.656	Madison Metro Sewer District Scmid-CR Plains School Dist TID 5 Madison Technical CollegeATC	G2 Totals	0.657 0.657	\$242,200 \$242,200	\$410,800 \$410,800	\$653,000 \$653,000
0708-023-7293-6 THE BRUCE COMPANY OF WISCONSIN PO BOX 620330 MIDDLETON WI 53562-0330	2709 Laura Ln 1ST ADDN TO GREEN ACRES LOT 13 Section: 2 Acres: 0.000	Madison Metro Sewer District Scmid-CR Plains School Dist TID 5 Madison Technical CollegeATC	G2 Totals	0.351 0.351	\$133,600 \$133,600	\$0 \$0	\$133,600 \$133,600
0708-023-7304-2 THE BRUCE COMPANY OF WISCONSIN PO BOX 620330 MIDDLETON WI 53562-0330	2705 Laura Ln 1ST ADDN TO GREEN ACRES LOT 14 Section: 2 Acres: 0.000	Madison Metro Sewer District Scmid-CR Plains School Dist TID 5 Madison Technical CollegeATC	G2 Totals	0.929 0.929	\$319,300 \$319,300	\$0 \$0	\$319,300 \$319,300
0708-023-7327-5 THE BRUCE COMPANY OF WISCONSIN PO BOX 620330 MIDDLETON WI 53562-0330	2700 Laura Ln LOT 2 CSM 7276 CS37/105-107 R25216/51&53-11/2/93 DESCR AS FI RST ADDITION TO GREEN ACRES LOTS 15, 16, 17 & 18 & CSM 4505 & SEC 2-7-8 PRT Section: 2 Acres: 0.000	Madison Metro Sewer District Scmid-CR Plains School Dist TID 5 Madison Technical CollegeATC	G2 Totals	2.779 2.779	\$1,011,600 \$1,011,600	\$572,400 \$572,400	\$1,584,000 \$1,584,000
0708-112-8010-7 THE BRUCE COMPANY OF WISCONSIN PO BOX 620330 MIDDLETON WI 53562-0330	2616 W Beltline Hwy PRT NE1/4 NW1/4 COM NE COR TH W ON N LN 660 FT S 132 FT E 66 0 FT N 132 FT TO POB EXC HWY 2 A SEC 11 R224/107 Section: 11 Acres: 0.000	Madison Metro Sewer District Scmid-CR Plains School Dist TID 5 Madison Technical CollegeATC	G2 Totals	1.848 1.848	\$776,100 \$776,100	\$232,900 \$232,900	\$1,009,000 \$1,009,000

Owner	Property Description	Districts	Class	Acres	Land	Impts	Total
0708-112-8125-9		Madison Metro Sewer District	G2	2.640	\$120,600	\$0	\$120,600
THE BRUCE COMPANY OF WISCONSIN PO BOX 620330 MIDDLETON WI 53562-0330	SEC 11-7-8 PRT NE1/4NW1/4 BEG NW COR SD 1/41/4 TH ALG N LN E LY TO PT 660 FT W OF NE COR SD 1/41/4 TH S TO PHEASANT BRANC H CREEK CL TH Section: 11 Acres: 0.000	Scmid-CR Plains School Dist TID 5 Madison Technical CollegeATC	Totals	2.640	\$120,600	\$0	\$120,600

Total properties listed: 11

Total acres and values by class: G2 16.935 \$4,923,300 \$2,482,500 \$7,405,800

EQ ADMIN AREA 76 Madison
COUNTY 13 Dane County
CITY 255 Middleton

Year	Property Class	Municipal Assessed Value	DOR Base Value	% of DOR Base Value	Ratio (%)	Major Class Municipal Compliance Status	Type Of Notice Issued
2023	Residential	2,542,257,100	2,877,633,000	57.97	88.35	NO	
	Commercial	1,748,796,900	1,944,206,800	39.17	89.95	NO	
	Agricultural	165,300	187,700	0.00	88.07		
	Sum Of 5, 5M, 6, 7	859,600	1,104,400	0.02	77.83		
	Personal	123,646,600	140,507,500	2.83	88.00		
	Total	4,415,725,500	4,963,639,400	100.00	88.96	NO	
2022	Residential	2,530,243,200	2,606,467,300	56.65	97.08	YES	
	Commercial	1,722,022,500	1,865,802,500	40.55	92.29	YES	
	Agricultural	137,900	137,700	0.00	100.15		
	Sum Of 5, 5M, 6, 7	345,600	656,500	0.01	52.64		
	Personal	127,791,300	127,791,300	2.78	100.00		
	Total	4,380,540,500	4,600,855,300	100.00	95.21	YES	
2021	Residential	2,006,370,100	2,312,077,600	56.07	86.78	NO	
	Commercial	1,422,586,800	1,688,402,700	40.94	84.26	NO	
	Agricultural	124,300	144,600	0.00	85.96		
	Sum Of 5, 5M, 6, 7	998,000	1,101,000	0.03	90.64		
	Personal	105,021,500	122,118,000	2.96	86.00		
	Total	3,535,100,700	4,123,843,900	100.00	85.72	NO	
2020	Residential	2,001,874,500	2,196,651,300	56.02	91.13	YES	
	Commercial	1,396,240,200	1,619,360,300	41.30	86.22	NO	
	Agricultural	113,400	125,900	0.00	90.07		
	Sum Of 5, 5M, 6, 7	762,400	662,600	0.02	115.06		
	Personal	94,060,400	104,511,600	2.67	90.00		
	Total	3,493,050,900	3,921,311,700	100.00	89.08	NO	
2019	Residential	1,982,330,800	2,121,356,700	57.46	93.45	YES	
	Commercial	1,341,793,500	1,465,865,500	39.70	91.54	YES	
	Agricultural	115,600	115,400	0.00	100.17		
	Sum Of 5, 5M, 6, 7	747,500	636,900	0.02	117.37		
	Personal	96,877,600	104,169,400	2.82	93.00		
	Total	3,421,865,000	3,692,143,900	100.00	92.68	YES	
2018	Residential	1,962,851,400	1,949,576,100	57.00	100.68	YES	
	Commercial	1,327,324,100	1,383,608,500	40.45	95.93	YES	
	Agricultural	88,800	88,300	0.00	100.57		
	Sum Of 5, 5M, 6, 7	690,200	510,000	0.01	135.33		
	Personal	86,450,305	86,450,400	2.53	100.00		
	Total	3,377,404,805	3,420,233,300	100.00	98.75	YES	
2017	Residential	1,682,991,300	1,872,033,000	57.75	89.90	NO	
	Commercial	1,131,175,500	1,225,218,100	37.79	92.32	YES	
	Agricultural	86,600	86,600	0.00	100.00		
	Sum Of 5, 5M, 6, 7	598,300	465,100	0.01	128.64		
	Personal	135,316,208	143,953,500	4.44	94.00		
	Total	2,950,167,908	3,241,756,300	124.00.00	91.01	NO	Page 23 of 39

MINUTES – BRUCE COMPANY REDEVELOPMENT (PC-2614)

2024-03-04 ITEM #1: Consideration of Private Storm Water Management Facilities on Public Land (PWC 2/12/24; WRMC 2/21/24)

Moved by Nelson, seconded by Pollek, to full support the comments and feedback from the Public Works Committee and Water Resources Management Commission on potential risks of having stormwater management under any public park land and to not approve private storm water management facilities to be located on public park land.

Motion passed 5-0.

2024-02-27 Item #9: Specific Implementation Plan (SIP) - Future Public Road (Garden District Drive), Garden District (Bruce Company Redevelopment) (PC-2614)

Moved by Janairo, seconded by Adams, to defer action on this SIP until the final plat is placed on the Plan Commission agenda for approval. Motion passed 7-0.

2024-02-27 Item #7: Final Plat - Garden District (Bruce Company Redevelopment), Multiple Parcels on Parmenter Street, Donna Drive, and Laura Lane (PC-2614)

Mayor Kuhn asked Jake Bunz if T. Wall would be willing to provide an extension, and Bunz said that they would be willing to grant an extension.

Moved by Janairo, seconded by Erdmann-Hermans, to direct staff to place a recommendation for denial of The Garden District final plat on the Council's 03/05/24 agenda unless staff has received an extension to 04/16/24 to review the final plat. Motion passed 7-0.

2024-02-27 PC Item #6: Preliminary Plat - Garden District (Bruce Company Redevelopment), Multiple Parcels on Parmenter Street, Donna Drive, and Laura Lane (PC-2614)

As noted in Attoun's memo dated 02/23/24, this project has a General Implementation Plan (GIP) approved with conditions. The staff recommendation is to refer the preliminary plat to the Parks, Recreation, and Forestry Commission related to parkland dedication, a proposed land swap, stormwater management on public land, and an outlot on parkland to erect signage about the land dedication. Staff offered alternative options for the Plan Commission to consider as opposed to the outlot and signage.

Mayor Kuhn asked about the parkland dedication and asked Jake Bunz, T. Wall, to provide additional information. Bunz described the discrepancy between the staff opinion of the land dedication and the Bruce Company opinion. Bunz stated that the Bruce Company is dedicating 3.3 acres of parkland. Staff does not want to count the embankment area toward the land dedication, but Bruce Company/T. Wall view it as a huge asset and believe it should be counted towards the parkland dedication requirement.

Janairo asked who would pay for the costs of improvements to the creek corridor, and Bunz said that their team would be willing to donate the improvements along the embankment to make it usable parkland. Janairo asked if the City decides to hold firm to the 3-acre requirement, if park fees in lieu of land dedication would be imposed for the difference, and Attoun said that could be negotiated. Mayor Kuhn asked if the costs for improvement to the embankment could make up the difference in fees if desired by the Parks, Recreation, and Forestry Commission. Janairo asked about the outlot and noted there are two separate issues: 1. The impact to the park and 2. Calling this a donation (setting precedent).

Erdmann-Hermans asked what improvements would be allowed within the creek corridor, and expressed concerns about the stormwater absorption of the conservancy land and embankment being impacted by any hardscape improvements made in the corridor. She asked if this should be referred to Conservancy Lands Committee.

Bruce asked if the land dedication item would be resolved by Common Council before this comes back before Plan Commission. Attoun said the land dedication would need to come back before the Plan Commission before it goes to Common Council. Bruce noted that it was the Council's decision for the 3-acre minimum. Janairo asked what happened to the previously proposed dog run and Bunz said that it was within the same area that is being proposed as parkland.

Erdmann-Hermans asked about stormwater management within parkland, which could limit the future use of the park if the stormwater area requires maintenance. Bunz indicated that test pits were dug and there are limited areas that are suitable for stormwater management. Commissioner Bruce asked if the design team has looked into green roofs to assist with stormwater, and Bunz said they've explored this with past buildings and there are additional costs associated with green roofs so they aren't pursuing this at this time. He will look into whether these amenities could be provided at grade above underground parking in any of the courtyard areas. Seth Nicholson, Bruce Company, commented that this has been a very long process and this was approved already by Council but is being opened back up for negotiations. Janairo asked what is being opened back up given that the developer agreed to manage stormwater outside of public parkland. Bunz said that they didn't have soil borings when that statement was made.

Kiley Scherer, Director of Parks and Recreation, agrees that the Parks, Recreation, and Forestry Commission should be considering each of these four policy items and providing a recommendation.

Moved by Janairo, seconded by Adams, to refer the preliminary plat to the Parks, Recreation, and Forestry Commission for a recommendation to the Plan Commission and Common Council for the resolution of the four policy items outlined in the staff memo 02-23-24. Motion passed 7-0.

2024-02-06 FC: Concept Review for Tax Increment District #5 Assistance –Bruce Company Redevelopment (The Garden District) for Future Public Road and The Olmsted (PC-2614) (FC 07/05/23),

Director of Planning and Community Development Abby Attoun provided an overview of the requests for developer-financed Tax Increment Financing (TIF) assistance for The Olmsted multi-family development and upfront TIF assistance for a future public road serving the The Garden District development. One of the policy issues for consideration by the Finance Committee are the request for TIF assistance for the first level of underground parking which is not an eligible expense under the City's TIF policy. A second policy question is would the City be supportive of financing the cost of providing upfront TIF assistance for the future public road. Assistant City Administrator/Finance Director Bill Burns stated that the City would likely need to borrow for the cost of the road and that it will be important to ensure that there is sufficient tax increment generate to pay the debt service. Members of the Finance Committee discusses the policy issues with several stating that they would not be comfortable with making an exception to the City's TIF policy. Committee members asked staff to prepare additional information on costs and financing options for the future public road for consideration at the March 5, 2024 Finance Committee meeting. They also expressed an interest in reviewing the City's TIF policy. Moved by Janairo, seconded Wochos to refer updated storm water management plan to the Water Resources Management Commission (WRMC), Parks Commission and Public Works Committee to identify potential risks of having storm water management under any public park land and to report back to the Finance Committee no later than the March 5, 2024 meeting. Motion Passed 4-0.

2023-07-05 CC: Resolution 2023-40 Resolution to Support a Wisconsin Economic Development Corporation (WEDC) Community Development Investment (CDI) Grant Application for The Bruce Company Redevelopment (PC-2614)

Moved by Janairo, seconded by Lorman, to Approve Resolution 2023-40 to Support a Wisconsin Economic Development Corporation Community Development Investment Grant Application for The Bruce Company Redevelopment.

Motion Passed. 7-0.

2023-02-13 PWC: Bruce Co. Redevelopment – Discussion of Site Access (PC-2614)

Committee members discussed with the development team revised alternative drawings for a potential site driveway at the south side of the proposed new Bruce Company retail building. On 2/8/23, the developer had provided a drawing of a southerly site driveway with a right-in-only driveway close to Parmenter St. and an out-only customer driveway at the proposed truck dock driveway about 155' west of Parmenter St. On 2/13/23, staff sketched an alternative layout with that westerly driveway serving two-way customer traffic and eliminating the right-in-only driveway at Parmenter St. Knorr moved that the Committee endorse the concept of a southerly driveway designed for two-way traffic and customer angle parking with street access at the location of the proposed truck dock driveway, approximately 155' west of the Parmenter St. stop bar, and that the site development include the southbound right turn lane as recommended in the Traffic Impact Analysis report and as requested by Terrence Wall.

Motion seconded by Stumpf, motion carried 6-0.

2023-01-23 PWC: Bruce Co. Redevelopment – TIA Addendum (PC-2614)

Schueffner moved that the Committee approve the TIA addendum memo, with its recommendations for driveway access to the retail/bank site based on analysis of the forecast traffic patterns associated with land uses and driveway locations that had been proposed by the developer. Motion seconded by Stumpf, motion carried 6-0.

Bruce Co. Redevelopment – Discussion of Site Access (PC-2614)

Committee members discussed with the development team potential site driveway access for the proposed new Bruce Co. retail building. On 1/18/23, the developer had provided a drawing of a southerly site driveway with an S-curve to shift the driveway to be 65' from the stop bar at Parmenter St. (previously about 30'), which would be approximately 60' east of the truck dock driveway planned as the back-in customer pick-up location.

Committee discussion included that the City's Access Management Plan, adopted in 2006, includes a minimum intersection clearance of 115' for a driveway on the departure side on a minor approach street [with a speed of 20 mph]. This minimum corner clearance is intended to promote safety. The Committee also noted that there are a lot of potential vehicle conflict points in a small area on the proposed public street – with the southerly parking lot driveway, on-street angle parking, and a truck dock/entry drive to underground parking all near the intersection with Parmenter St.

During discussion, Terrence Wall and Jake Bunz shared on the screen a sketch of a different concept, which included a right-in driveway near Parmenter St., and a broad S-curve from the south end of the parking lot as an exit-only onto the proposed public street at a point more than 115' from the stop bar at Parmenter St. In brief discussion, the Committee expressed interest in seeing the concept drawn, and a variation on the concept to eliminate the right-in only driveway by making the relocated driveway two-way.

Ramsey moved that the Committee defer action, pending revised drawings. Motion seconded by Wochos, motion carried 6-0.

2023-01-09 PWC: Bruce Co. Redevelopment – TIA Addendum (PC-2614)

Schueffner moved that the Committee defer consideration of this item to the next meeting. Motion seconded by Dinakaran, motion carried 6-0. Stauske will contact SRF to correct two references to building "A4" that should reference "A6."

Following action on this item, Schueffner left the meeting. 127

2022-10-03 PRFC: Concept review of potential land swap with Bruce Company Development (PC 2614)

Jake Bunz presented concept of land swap.

Commission was supportive, would like to ensure that if land swap proceeds that developer be restricted to using this land in some format of public private partnership that will be mutually beneficial to the city/park and development.

2022-08-22 PWC: Bruce Co. Redevelopment – Water & Sewer Utility Study (PC-2614)

Schueffner moved that the Committee approve the letter report from Strand Associates dated 7/25/22 for the water and sanitary sewer system study. Motion seconded by Ramsey, motion carried 4-0.

2022-05-09 PWC: Bruce Co. Redevelopment – Traffic Impact Analysis Approval (PC-2614)

Stumpf moved that the Committee approve the traffic impact analysis report submitted 4/25/22, with the following specific recommendations from the report as summarized in Stauske's memo dated 5/3/22:

- a. Recommend implementation by the City of the following public improvements as noted in the report:
 - i. Modification of programming to optimize traffic signal timings as needed.
 - ii. Prohibit during peak hours left turn movements from Laura Ln. and Tribeca Dr. at Century Ave. (Sections 7.1 & 9.2).
 - iii. Include leading pedestrian intervals (LPI) if advisable at the signalized intersections of Parmenter St. at Century Ave. and Parmenter St. at Donna Dr. (Section 8 & 9.2).
 - iv. When delay or queues become problematic, prohibit during peak hours left turn movements onto Parmenter St. from the proposed new public street (current Bruce Co. driveway) and the Food Concepts driveway. (Sections 7.2 & 9.3).
- b. Recommend implementation by the Developer of the following improvements during the planned Bruce Co. redevelopment as recommended in the report:
 - i. Either modify the site plans for the most easterly proposed driveway access to Donna Dr. to be a minimum of 200' west of the stop bar at the Parmenter St. traffic signal, or restrict driveways within that distance to allow only right-in, right-out turning movements. (Section 9.1).
 - ii. Modify the site plan for the most easterly proposed driveway access to the new public street at the south side of the retail store to be at least 115' west of the proposed stop bar at Parmenter St. per the City's Access Management Plan. (Section 9.1).
 - iii. Modify the plans for the proposed east-west public street (currently a private driveway) to eliminate proposed on-street parking from within the sight lines needed for safe operations at the proposed mid-block driveway. (Section 9.1).
 - iv. Post an advisory speed limit of 15 mph at each approach to the horizontal curve where the proposed east-west roadway meets the extension of Laura Ln. (Section 9.1).
 - v. Consider requiring as part of SIP approvals Transportation System Management (TSM) and Travel Demand Management (TDM) strategies to help reduce traffic congestion associated with the redevelopment. (Section 9.1).
 - vi. Following a more detailed study and further evaluation of options, address northbound queues for left turns onto Century Ave. Mentioned in this report are options to close the first median opening on Parmenter St. south of Century Ave., or to expand the intersection for dual northbound left turn lanes. The median opening currently serves as one of three driveway access points for Zimbrick Volkswagen, and as a shared driveway opening for the Pit Stop Express and Alpha Graphics east of Parmenter St. (Sections 7.3 & 9.4).
 - vii. Design the proposed public street intersection with Parmenter St. to facilitate installation of a traffic signal and turn lane improvements when warranted. Modeling in the report indicates the design should include a 200' northbound left turn lane, a 125' southbound right turn lane, and a 75' eastbound right turn lane. (Sections 7.3 & 9.4).
- c. Recommend deferral of implementation of the following improvements as recommended in the report, to a time when traffic operational or safety issues warrant a change:

- i. Consider expansion of turning lanes at the intersection of University Ave. and Parmenter St. Due to nearby land uses, the City may elect in the future just to accept long queues and delays at this intersection in peak hours. (Section 7.2 & 7.3).
- ii. Install a traffic signal at the intersection of Donna Dr. and Park St. when warranted. The report predicts that a couple of warrants may be nearly met by 2050 without the Bruce Co. redevelopment, and that warrants will be met in the horizon year with the Bruce Co. redevelopment. (Section 9.3). The City may consider requesting partial funding from the Developer. An interim pavement marking improvement was considered in Section 7.1, but not recommended in Section 9.2 due to potential to draw additional traffic to this intersection, and due to a safety concern with high pedestrian traffic.
- iii. Expand the intersection of Deming Way and Discovery Dr. to add an exclusive westbound right turn lane with revised traffic signal timing. (Sections 7.2 & 9.3).
- iv. Expand the roundabout at the intersection of Parmenter St. and Discovery Dr. to provide right turn bypass lanes for the northbound and westbound approaches. (Sections 7.2, 7.3 & 9.3).
- v. Monitor need for additional traffic calming features along Donna Dr., east of Parmenter St. (Section 9.4).

Motion seconded by Ramsey, motion carried 4-0.

2022-01-11 PC: Concept Review for Bruce Company Office, Garden Center & Greenhouse Buildings, 2830 Parmenter St. (PC-2614)

Attoun reviewed her staff report noting the following:

1. Apologizing to the applicant for not attaching a clean copy of their submittal, and thanking Xu for sending a clean copy out to the Plan Commission.
2. Commissioner Bruce was unable to attend, but would support keeping the open air pavilion in the Specific Implementation Plan (SIP) submittal.
3. Attoun and Public Works Director Stauske met with the SRF Consulting who will be preparing the traffic impact analysis (T.I.A.). The proximity of the driveway on Donna Drive just west of Parmenter Street is an outstanding item. The engineering staff has flagged this as a safety concern in all the submittals to date.

Seth Nicholson, Bruce Company, and Jake Bunz, T. Wall Enterprises, presented the concept submittal. Nicholson stated that the greenhouses are intended to be similar to the open air pavilion in that they will have garage doors on the sides that can be opened in warmer months. In colder months, the greenhouses will be heated to maximize usable space for the Bruce Company, and can be used for planting classes, yoga, and more. The greenhouses will allow a year-round utilization of the space.

Paulsen asked if the driveway shown is in the same location as existing, and Nicholson said that it is in the same location. Paulsen asked about dashed lines shown on the north elevation, and Bunz said they are the walkways to the greenhouse area, which will include a 5' tunnel into the greenhouses, which cannot be directly against the building. Slavish complimented the building design, and asked about the courtyard area behind the greenhouse. Bunz said that the crosshatching is a placeholder for the SIP submittal. The courtyard area will be full of plants and will be the display area for the Bruce Company. Nicholson said the fence will be ornamental with vines or hedges to soften the fence line.

Terrence Wall, T. Wall Enterprises, said the fence will only be along the at-grade patios of the residential units to delineate their private patio space. The courtyard will not have a landscaping plan, because it will change seasonally depending on the Bruce Company's inventory.

Mayor Brar inquired about curb cuts from Donna Drive, and Terrence Wall indicated the driveway areas and what they will service. Wall said the existing driveway to the Bruce Company must be maintained and that Bruce Company has the right to maintain it.

Erdmann-Hermans supports the three interconnected greenways for energy efficiency purposes and for functionality of the space.

Moved by Ramsey, seconded by Paulsen, to approve the concept with the engineering staff comments. Motion passed 6-0.

2021-11-22 PWC: Bruce Co. Redevelopment – Traffic Impact Analysis Scope of Work (PC-2614)

Burck moved that the Committee approve modifying the City's guidelines to reduce the scope of traffic impact study for this proposed redevelopment to include only 17 instead of 22 intersections (eliminating 6, 13, 18, 19, 20 as shown on the map in the packets), but to keep the analysis of the planning horizon at the year 2050, consistent with the Metropolitan Planning Organization (MPO). Motion seconded by Knorr, motion carried 6-0.

2021-09-07 CC: Ordinances - First Reading (Final Action may be taken upon approval of motion to suspend rules under Section 1.07, Middleton Gen. Ords.) Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels (PC-2614)

Moved by Burck, seconded by Fuszard, to suspend rules under Section 1.07, Middleton Gen. Ord and Approve the Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels contingent upon the following items:

- Resolution of engineering staff recommendations. (PC, PWC)
- Preparation and approval of a traffic impact analysis (T.I.A.), and resolution of any traffic improvements that are recommended by the T.I.A. to be completed at the developer's expense. (PC, PWC)
- Preparation and approval of a stormwater management plan. (PC, PWC)
- Preparation and approval of a plat, which will need to include land dedication along the creek corridor in order for the City to provide basic maintenance of the Pheasant Branch Creek. Depending on the timing of the plat approval, the City will need at least a temporary limited easement (TLE) from the Bruce Company to begin creek restoration next spring. (PC, PWC)
- Applicant will be required to meet the City's parking requirements at the time of consideration and approval of each Specific Implementation Plan (SIP). (PC, PWC)
- City approval of cross sections for proposed public streets that conform to City standards. (PWC)
- Completion of a developer funded City study of the water and sanitary sewer systems, and development of plans for improvements needed to provide adequate utility capacities for the proposed land uses. (PWC)
- Preparation of the plat to include access restrictions consistent with the City's Access Management Policy. (PWC)
- An understanding that GIP approval does not in any way indicate support for the tax increment financing (TIF) request associated with this project, which staff is still reviewing. (Staff)
- Any stormwater features should be on private property – not public. (CLC)
- Support for preservation of the creek corridor and providing as much park space in this area as possible. (PRFC)
- Staff recommends a preference for managing the stormwater for this development area regionally rather than on a building-by-building basis. (Staff)

Final Reading Passed. 8-0.

2021-08-18 WRMC: Bruce Company Redevelopment PC 2/23/21

Sorensen briefed the Commission on the concept plan, and stated the development will need to meet stormwater management requirements for redevelopment. Ongoing discussions include whether stormwater management features should be placed within the dedicated park land. Jake Bunz, representing the developer, stated that the conceptual and changing nature of the plan makes it difficult to design a regional stormwater solution with final site design(s) not yet determined. Bachhuber moved to recommend to Plan Commission that WRMC's preference would be a regional stormwater management approach which includes stormwater management for all public Rights-of-Way. Potter seconded, motion carried 6-0.

2021-08-17 CC:

Old Business: Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels (PC-2614)

This item was moved after the closed session.

Closed Session: Convene into Closed Session Pursuant to Sections 19.85(1)(e), Wisconsin Statutes:

Moved by Burck, seconded by Nelson, to Approve Convene into Closed Session at 9:56 p.m. pursuant to Sections 19.85(1)(e), Wisconsin Statutes: (e) for the Deliberation of or Negotiation for the Purchase of Public Properties, the Investing of Public Funds or Conducting Other Specific Business, whenever Competitive or Bargaining Reasons Require a Closed Session. The Common Council will discuss the acquisition of land for a future park north of the Pheasant Branch Creek near the Bruce Company, and the Bruce Company/T. Wall rezoning request. Motion Passed. 8-0.

Old Business (moved from above): Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels (PC-2614)

Moved by Burck, seconded by Ramsey, to defer action Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels and ask that the developer make the following changes to the GIP:

1. Remove the shared parking from the GIP, 2.
2. Move Building 7 northwest to fill the triangular area, south of the Phase 9 building.
3. Dedicate a minimum of 3 acres of parkland.

The city will be willing to waive the first reading at the September 7, 2021, council meeting upon satisfaction of the requested changes. Motion Passed. 8-0.

2021-08-03 CC:

Ordinances - First Reading (Final Action may be taken upon approval of motion to suspend rules under Section 1.07, Middleton Gen. Ords.)

Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels (PC-2614)

This item was moved after the closed session.

Closed Session: Convene into Closed Session Pursuant to Sections 19.85(1)(e), Wisconsin Statutes: (e) for the Deliberation of or Negotiation for the Purchase of Public Properties, the Investing of Public Funds or Conducting Other Specific Business, whenever Competitive or Bargaining Reasons Require a Closed Session. The Common Council will discuss the acquisition of land for a future park north of the Pheasant Branch Creek near the Bruce Company

Moved by West, seconded by Burck, to Convene into Closed Session at 8:28 p.m. Motion Passed. 8-0.

Open Session: Convene into Open Session

Moved by Ramsey, seconded by Sullivan, to Convene into Open Session at 9:07 p.m. Motion Passed. 8-0.

Ordinances - First Reading (Final Action may be taken upon approval of motion to suspend rules under Section 1.07, Middleton Gen. Ords.): Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels (PC-2614)

Moved by Burck, seconded by Fuszard, to defer the First Reading of an Ordinance Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels. The motion was amended to request that the developer provide additional information on exactly what land is proposed to be dedicated for parkland. Motion Passed. 8-0.

2021-08-02 PRFC: Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels (PC-2614)

- Commission members expressed concerns about the dog area being separated from the rest of the park, concerns about stormwater being shown in the park, and that the proposal would be best not having building "C1" included in the development to allow for a more functional park.
- Jake Bunz of T-Wall Properties discussed the request and conceptual proposal.

- Terrence Wall of T-Wall Properties explained that the current zoning of the property is B-3. It could be developed as commercial property. The Bruce Company wants to create a new destination retail space.
- Terrence Wall stated the private development will be able to manage stormwater outside of the parkland.
- Motion by Schaffer, seconded by Shaw to support the concept and that the commission supports preservation of the creek corridor and providing as much park space in this area as possible. Motion approved unanimously.

2021-07-28 CLC: Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels (PC-2614) Plan Commission (July 13, 2021)

- Jake Bunz (T. Wall Enterprises) presented the proposed redevelopment to Committee members. Seth Nicholson (Bruce Co.) was also present to answer questions.
- Motion by West to agree with the overall concept as presented with the addition stating that any private property stormwater features be excluded from any proposed parklands. Ramsey seconded the motion.
- Motion passed 6-0.

2021-07-26 PWC: Bruce Company Redevelopment (PC-2614)

Burck moved that the Committee endorse all staff recommendations made on the Bruce Company redevelopment plan drawings dated 7/6/21, as included in the Committee packets, except as further modified below:

- Edit the following staff recommendation [edit to sheet C2 made 7/27/21]:
 - On drawing sheet C2, include a referral to the City Attorney to advise on the legal implications of a potential recommendation in the pending Traffic Impact Analysis to expand the current access restriction and change the location of the most easterly Donna Dr. driveway to be clear of the traffic signal per guidance of the City's Access Management Policy.
- Add the following Committee recommendations [edits to sheet A004 made 7/27/21]:
 - Don't show storm water management ponds on public park land.
 - Remove all detail elements (paths, buildings, parking lots, etc.) from the public park.

and that the Committee endorse the Plan Commission's recommended contingencies made 7/13/21 for conditional approval of the GIP rezoning, with the following additional recommended contingencies:

- City approval of cross sections for proposed public streets that conform to City standards.
- Completion of a developer funded City study of the water and sanitary sewer systems, and development of plans for improvements needed to provide adequate utility capacities for the proposed land uses.
- Preparation of the plat to include access restrictions consistent with the City's Access Management Policy.

Motion seconded by Knorr, motion carried 5-0.

2021-07-20 CC: Ordinances - First Reading (Final Action may be taken upon approval of motion to suspend rules under Section 1.07, Middleton Gen. Ords.): Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels (PC-2614)

Moved by Ramsey, seconded by Kuhn, to Approve the First Reading of an Ordinance Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels contingent upon the following recommendations by Plan Commission:

- Resolution of engineering staff recommendations. Note that the packet includes the engineering staff recommendations from the 6/8/21 Plan Commission meeting and that the submittal has changed. The new GIP submittal came in on 7/6/21, and that did not provide staff enough time to prepare updated engineering recommendations.
- Preparation and approval of a traffic impact analysis (T.I.A.), and resolution of any traffic improvements that are recommended by the T.I.A. to be completed at the developer's expense.
- Preparation and approval of a storm water management plan.
- Preparation and approval of a plat, which will need to include land dedication along the creek corridor in order for the City to provide basic maintenance of the Pheasant Branch Creek.
- Depending on the timing of the plat approval, the City will need at least a temporary limited easement (TLE) from the Bruce Company to begin creek restoration next spring.

- Referral to Park, Recreation, and Forestry Commission and the Conservancy Lands Committee.

Sullivan moved to defer the rezoning and refer the proposal to Park, Recreation, and Forestry Commission and Conservancy Lands Committee, seconded by Olson. Motion Passed. 7-0.

2021-07-13 PC:

7:15 pm Public Hearing – Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels (PC-2614)

Mayor Brar opened the public hearing at 7:43 p.m.

Hans Hilbert, 3209 Cedar Trail, registered in support of the rezoning application. Hilbert stated that the redevelopment is in line with the comprehensive plan for this area. This is an important core to the City due to the tax base that can be supported by the property and the ability to add density, while also eliminating incompatible uses in the area. He supports showcasing and protecting the Pheasant Branch Creek Corridor in this area. Hilbert questioned the need for a traffic impact analysis (T.I.A.) in this area.

Mayor Brar closed the public hearing at 7:46 p.m.

Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels (PC-2614)

Attoun noted that staff received some questions from a Commissioner related to this rezoning request, which required consultation with the Assistant City Attorney and the Zoning Administrator. The first question is whether the City can require minimum heights as a condition of the zoning approval. The Assistant City Attorney stated that the City can require minimum heights as a condition of the zoning approval because the City has provided sufficient notice through the public hearing process. The second question was whether the City approve the rezoning request but only for a portion of the lands included in the GIP request, and the Assistant City Attorney stated that this is possible, but that a revised legal description would be needed prior to Council action. A new submittal and public hearing would be required for the remainder of the lands.

Jake Bunz, T. Wall Enterprises, noted that the proposal is the same as the one discussed at the last Plan Commission meeting. He highlighted some of the pertinent changes to the initial submittal, including modifying the building heights to add variety, adding some architectural features on two prominent buildings, moving the clubhouse to separate it from the park, adding park space by moving the public road further north, adding trees along the walking path, making the dog walk public, and squaring off a wall of the greenhouse building.

Brar inquired about the number of guest rooms in the hotel, and Bunz stated it will be up to 700 units. Slavish reiterated the point he made at the last meeting, that with 800 units, will there be any affordable workforce housing included. Bunz stated that T. Wall Enterprises specializes in luxury and market-rate multi-family housing. Brar asked if T. Wall would consider it, and Bunz stated that he'd bring this back to his team. Paulsen encouraged T. Wall to break up the uniformity of the plan, particularly of the buildings on the north/south private drive, so that it feels more like a neighborhood. Schaffer supports this proposal, and is thankful for the developer's efforts to protect the creekline and enhance the park areas. Schaffer asked where parking can occur for the 10-story buildings, and Bunz stated that parking would happen underneath the building, or that Bruce Company may acquire additional land for a parking deck in the future. Brar asked about the dog park, and Schaffer said this is a needed amenity.

Bruce asked if the Parks Commission should review the proposal again, and Schaffer said that it should come before Parks Commission again. Bruce supports the Bruce Company redevelopment, and he supports the eastern third of the site plan. Bruce expressed concern over including land that the developer does not control (the Latitude Graphics site). Staff noted that while the Latitude Graphics site is shown in the design concept, the parcel is not included in the rezoning request. Bruce asked how the plan would change if the Bruce Company is unable to acquire the Latitude Graphics site.

Terrence Wall, T. Wall Enterprises, stated that the brew pub would come off the plan if the Latitude Graphics site was unable to be used in this way.

Paulsen asked if the public hearing notices specifies the number of parking stalls. Attoun stated that the public hearing notice does not specify the number of stalls. The GIP request does specify a total. Paulsen stated that the City would need to enforce the overall parking requirement at each stage of the Specific Implementation Plan (SIP). Attoun recommended that an additional condition of approval state that the developer is required to meet the City's current parking standards at the time of each SIP approval. Bruce doesn't think the developer could meet market needs for the western two-thirds of the site, and he's concerned that the solution will require a lower height of building and the City won't get the varying building heights as requested. Bruce proposes the Commission approve the eastern third of the site plan and ask the developer to come back with more information for the remaining area. This would enable the Commission to get more details about the parking on the western two-thirds of the site as well as get more information from the Parks Commission. Schaffer concurs somewhat with Bruce's comments, and expressed concern about what could happen if the City is unable to acquire the Latitude Graphics site. Paulsen is sympathetic to Bruce's concerns, and asked how this would affect the applicant's timeline. Attoun stated that the conversations between the City and the Latitude Graphics site owner are going well.

Terrence Wall, T. Wall Enterprises, stated that the parking will be sufficient and will be handled as each SIP proceeds. Wall requested that the Plan Commission vote on the proposal before them rather than only approving a portion of the project.

Brar and Bruce asked if Parks Commission could be a condition of approval, and Attoun said that if that were the case, the staff would not add this item to the Council agenda until the Parks Commission takes action. Attoun recommends against adding a condition of approval for the Water Resources Management Commission because they won't likely have enough information to take action. Schaffer said the Parks Commission is meeting this Monday. Brar inquired about adding Conservancy Lands Commission, and Bruce inquired about adding Public Works Committee.

Seth Nicholson, Bruce Company, expressed concern about the process. The applicants have responded to many of the comments and he feels that there are conflicting comments being expressed by the Commission and it is difficult to find alignment and clarity.

Motion by Paulsen, seconded by Schaffer, to recommend approval of the GIP contingent on:

- Resolution of engineering staff comments.
- Preparation and approval of a traffic impact analysis (T.I.A.), and resolution of any traffic improvements that are recommended by the T.I.A. to be completed at the developer's expense.
- Preparation and approval of a stormwater management plan.
- Preparation and approval of a plat, which will need to include land dedication along the creek corridor in order for the City to provide basic maintenance of the Pheasant Branch Creek. Depending on the timing of the plat approval, the City will need at least a temporary limited easement (TLE) from the Bruce Company to begin creek restoration next spring.
- Applicant will be required to meet the City's parking requirements at the time of consideration and approval of each Specific Implementation Plan (SIP).

Motion passed (4-1) with Bruce opposed.

Motion by Paulsen, seconded by Schaffer, to refer this plan to Parks, Recreation, and Forestry Commission, Public Works Committee, and Conservancy Lands Commission for consideration if they wish to provide comments. **Motion passed** (5-0).

2021-06-08 PC:

Public Hearing: Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels (PC-2614)

Mayor Brar opened the hearing at 7:31 p.m.

There was no one present who wished to speak, and Opitz reported that city staff had not received any correspondence or phone calls for the record. Brar closed the hearing at 7:32 p.m.

Commissioners discussed this matter under Agenda items, below.

Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels (PC-2614)

(approximately 1:41:30 of the recording)

Opitz noted that the applicant has submitted a revised development concept but that what is before the Commission is the proposal as described in the hearing notice. Jake Bunz (T. Wall Enterprises) presented their revised development concept, which provides additional public spaces and varied building heights in response to feedback they received from staff. He said that they still want approval of the original concept as submitted but are willing for approval to be contingent on additional changes.

In response to commissioner inquiries and comments, Opitz noted that the GIP can be approved in phases (segmented) into different areas, but it only pertains to parcels identified in the legal description that was part of the hearing notice. He added that the zoning regulations pertaining to a portion of the rezoned area could also be changed through a GIP amendment.

Commissioners viewed favorably the additional parkland and green space along the creek, the variety in building heights, and the transition from lower profile buildings along Parmenter Street to higher buildings along US 12 (although one member said that an 8- to 10-story building seems tall, and another advocated for more thoughtful orientation of the buildings). Bunz stated that they are planning for the housing to be market rate. Commissioners also spoke about site circulation, building and landscaping design along Parmenter Street, compatibility with the Parmenter Neighborhood Plan, the airport height limitation zoning ordinance, having an anchor building at the northeast corner similar to the one planned at the southeast corner, and sharing “all the parking all the time.” Seth Nicholson (Bruce Company) said it’s important for Bruce Company to maintain their existing driveway off Donna Drive and he said that they haven’t had issues with access and circulation in the past. He added that it is important not to separate the retail building from the plant materials/landscaped courtyard behind the building.

Moved by Bruce, seconded by Slavish, to defer action on the request that is before the Commission, and to direct staff to schedule a hearing on the revised concept for July 13. Motion passed 6-0.

Opitz noted that the hearing notice could identify taller buildings and then be scaled back, but not the other way around. Bruce requested staff rationale for exceeding heights identified in the neighborhood plan.

2021-06-02 CC: Closed Session: Convene into Closed Session Pursuant to Sections 19.85(1)(e), Wisconsin Statutes:

Moved by Fuszard, seconded by Burck, to Convene into Closed Session at 8:53 p.m. Pursuant to Sections 19.85(1)(e), Wisconsin Statutes for the Deliberation of or Negotiation for the Purchase of Public Properties, the Investing of Public Funds or Conducting Other Specific Business, whenever Competitive or Bargaining Reasons Require a Closed Session. The Common Council will discuss the acquisition of land for a future park north of the Pheasant Branch Creek near the Bruce Company. Motion Passed. 8-0.

2021-05-11 PC: Schedule Public Hearing – Rezoning from B3 to PDD-GIP – Bruce Company Redevelopment, Multiple Parcels on Parmenter Street, Donna Drive, and Laura Lane (PC-2614)

Attoun reported that the applicant must still provide upper limits for unit counts, building sizes, and parking amounts before the hearing notice can be finalized. She also noted that the rezoning application does not pertain to properties that are not under the control of the developer. Following discussion with staff, Commission members agreed that it was acceptable to specify unit caps for the property (versus individual buildings) with parking details addressed as part of the Specific Implementation Plan(s).

Moved by Paulsen, seconded by Bruce, to schedule a hearing (Class 2 notice) for June 8, 2021, at 7:30 p.m. Motion passed 6-0.

2021-04-06 CC: Convene into Closed Session: Pursuant to Sections 19.85(1)(e) and 19.85(1)(g), Wisconsin Statutes:

Moved by Burck, seconded by Nelson, to Convene into Closed session at 9:43 p.m. Pursuant to Sections 19.85(1)(e) and 19.85(1)(g), Wisconsin Statutes: (e) for the Deliberation of or Negotiation for the Purchase of Public Properties, the Investing of Public Funds or Conducting Other Specific Business, whenever Competitive or Bargaining Reasons Require a Closed Session. The Common Council will discuss the acquisition of land for a future park north of the Pheasant Branch Creek near the Bruce Company. Also, pursuant to §19.85 (1)(g) of the Wisconsin Statutes authorizing a closed session for conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved. The Common Council will discuss a raze order at 6706 Century Avenue. Motion Passed. 8-0.

Convene into Open Session

Moved by Ramsey, seconded by Nelson, to Convene into Open Session at 11:15 p.m. Motion Passed. 8-0.

2021-03-02 CC: Convene into Closed Session: Convene into Closed Session Pursuant to Sections 19.85(1)(e), Wisconsin Statutes:

Moved by West, seconded by Burck, to Convene into Closed Session at 8:25 p.m. Pursuant to Sections 19.85(1)(e), Wisconsin Statutes: (e) for the Deliberation of or Negotiation for the Purchase of Public Properties, the Investing of Public Funds or Conducting Other Specific Business, whenever Competitive or Bargaining Reasons Require a Closed Session. The Common Council will discuss the acquisition of land for a future park north of the Pheasant Branch Creek near the Bruce Company. Motion Passed. 8-0

2021-02-23 PC: Concept Review – Bruce Company Mixed-Use Redevelopment Project, Multiple Parcels on Parmenter Street, Donna Drive, and Laura Lane (PC-2614)

(27:03 of recording)

Attoun provided the staff report and noted the developer has provided feedback to initial engineering staff comments. She spoke about the importance of having an east-west public street, setting aside land for a park along the creek, and having more variety in housing types. She added that the developer does not support incorporating condos or townhomes into the project.

Seth Nicholson (Bruce Company) presented slides recounting the history and evolution of Bruce Company and options for the future of the company and the property. Terrence Wall spoke about development plans, land uses, site layout, building design, construction costs, essential components of the project, and timelines.

Commission member and staff discussion centered on the following topics:

- Glad to see Bruce Company remaining part of the project, engaging Parmenter St.
- Public park / greenspace along creek is an important component of the project; opportunity for public / private partnership.
- Building D crowds the creek; consider shifting building north to end of east-west street while still engaging the creek corridor; the environmental corridor width to the east is at least 250 ft. wide.
- Laura Lane and new street connection to Parmenter St. should be public and function as a street.

- Site plan could be more imaginative; this is an opportunity for a generation to define a corridor.
- Building design and height should have more variety; consider various housing types.
- Unique opportunity for interior courtyards to serve as an extension of Bruce Company showroom; ensure adequate lighting.
- West edge of development area enjoys significant Beltline visibility.
- Would be ideal to bring Latitude Graphics property into the development
- Streambank stabilization
- Involvement of neighboring property owners

Moved by Ramsey, seconded by Schaffer, to approve the concept and refer it to the Parks/Recreation/Forestry Commission, Conservancy Lands Commission, and Water Resources Management Commission for their feedback. Paulsen and Bruce indicated they felt it was premature to endorse the concept, but they think input from other committees would be valuable. Schaffer withdrew his second to the Ramsey motion. **Motion died** for lack of a second.

Moved by Brar, seconded by Paulsen, to refer the concept to the Parks/Recreation/Forestry Commission, Conservancy Lands Commission, and Water Resources Management Commission for their feedback. **Motion** passed 6-0.

2021-02-18 PRFC: Convene to Closed Session Pursuant to Sections 19.85(1)(e), Wisconsin Statutes: (e) for the Deliberation of or Negotiation for the Purchase of Public Properties, the Investing of Public Funds or Conducting Other Specific Business, whenever Competitive or Bargaining Reasons Require a Closed Session. The Park, Recreation & Forestry Commission will discuss the acquisition of land for a future park north of the Pheasant Branch Creek near the Bruce Company.

Motion to convene in closed session by Shaw, seconded by Adams. Motion was approved unanimously.

Motion to return to open session by Sullivan, seconded by Poehlman. Motion was approved unanimously.

No action was taken in closed session.



T. Wall Enterprises

July 8, 2024

City of Middleton Plan Commission
7426 Hubbard Avenue
Middleton, WI 53562

RE: The Garden District Preliminary Plat
Parkland Dedication Clarification

Dear Plan Commission:

On behalf of my client, Bruce Holdings, LLC and the Garden District (the “**Development**”), I am reaching out to clarify some legal misrepresentations in Middleton City Staff’s memo to the Plan Commission dated July 1, 2024 regarding the Development (the “**Memo**”).

ISSUE: Parkland Dedication Calculation. The Memo’s discussion about “Parkland Dedication” provides misleading information to the Plan Commission. In the Memo, Abby recommends excluding the following items from the 3-acre parkland dedication for the Development:

- (i) Pheasant Branch creek;
- (ii) forested creek embankment;
- (iii) creek corridor (area including the creek, embankment, and about 25 foot buffer)
- (iv) underground stormwater facilities (including public stormwater detention – to protect road runoff into the Pheasant Branch creek and protect public lands).

The Memo claims that these four items are not considered “active parkland”. “Active parkland” is NOT a criteria/standard found in ANY Middleton ordinance. The alleged “active parkland” distinction is a fictitious/arbitrary invention by City Staff.

LEGAL GROUNDS. Ordinance. The Memo claims to rely on Section 19.06(3)(k) of the Middleton Ordinances (the “**Ordinance**”) to support her recommendation. The Ordinance, however, does not require land to be considered “active parkland” to be dedicated. The Ordinance does not even contain the term “active parkland.” On the contrary, the Ordinance calls for a developer to dedicate “parks, open spaces and sites for other public uses. [emp. added]” The proposed dedication, which exceeds the 3-acre City Staff made-up requirement, satisfies all three of these goals.



T. Wall Enterprises

FACTS: No “active parkland” distinction in ordinance. The proposed dedication includes the creek corridor and embankment which grants the public access to the water and significant open space. Subsection 6 of the Ordinance specifically names “access” as a factor in evaluating the adequacy of the parkland dedication. Furthermore, Subsection 1 of the Ordinance specifically references “**streams**”, “**woodlands**”, and “**wetland plants**” for dedicated parkland, which is exactly what is being dedicated. All of this completely erodes Abby’s argument that dedicated parkland must be “active parkland”.

Pheasant Branch Conservancy and Lakeview Park are staples in the Middleton community for recreation and public use. The existence of a creek does not take away from the enjoyment and use of these areas.

VIOLATION OF RIGHTS: Illegal taking. It is an ILLEGAL TAKING of private property for the City to require dedication of private land without counting such land as parkland AND still require a fee in lieu of such dedication on top of that.

ALTERNATIVE: My client has asked me to relay that if the City excludes the creek corridor, embankment, and underground stormwater area from the parkland dedication calculation, then the developer will not dedicate those areas. Specifically for the underground stormwater area, as it is currently proposed, the land above that area is useable as a park. If that area is not counted toward the dedication then the Developer will propose paving that 0.25 acres as a private gated parking lot.

Additionally, multiple fast-food chains, including Dunkin’ Donuts and other well-known names, along with car dealerships, car rental companies, hotels, and a variety of other businesses have expressed interest in purchasing outlots in the Development for drive-thrus or other uses. If the City’s roadblocks make pursuing the proposed Development not feasible, then the developer may instead sell the land and be done with it.

DECISION: Up to Plan Commission... There is NO ordinance that prohibits counting the creek, the embankment, creek corridor, and underwater stormwater facilities from the parkland dedication, because the “active parkland” distinction is made-up. Ultimately, the parkland dedication question is up to the Plan Commission and Council (not staff).

Sincerely,

Bruce Holdings, LLC, developer of the Garden District

By: F. Taylor Brengel, Legal Counsel



T. Wall Enterprises

(k) Dedication of Parks and Public Sites

The requirements of this subsection are established to insure that adequate parks, open spaces and sites for other public uses are properly located and preserved as the City grows and that the cost of providing the park and recreation sites and facilities necessary to serve the additional people brought into the community by land development may be equitably apportioned on the basis of the additional needs created by the development. The requirements shall apply to all lands proposed for all residential developments.

1. In the design of a subdivision, including minor subdivisions, or planned developments, provisions shall be made for suitable sites of adequate area for parks, playgrounds, open spaces, schools and other public purposes. Such sites as shown on the Official Map, Comprehensive Plan or Parks and Open Space Plan shall be made a part of the design. Where such are not shown on said plans or map, consideration shall be given to the preservation of scenic and historic sites, stands of trees, marshes, ponds, streams, and woodland, prairie and wetland plant and animal communities.
 2. The subdivider shall dedicate suitable land for the park, recreation and open space needs of the development in accordance with standards and recommendations contained in the Plan for Parks and Open Space. This shall include the provision of pedestrian and bikeway linkages necessary to provide access to park, recreation and open space areas as determined by the Plan Commission and Park, Recreation and Forestry Commission. All required land dedication under this subsection are in addition to the dedications or reservations required in s. 19.06(3)(j).
6. Any land to be dedicated as a requirement of this section shall be reasonably adaptable for the intended park and recreational uses and shall be at a location convenient to the people to be served. Factors used in evaluating the adequacy of a proposed park and recreation area shall include, but not be limited to, size, shape, topography, geography, tree cover, access, and location. The determination of land suitability will be at the sole discretion of the Plan Commission acting on the recommendation of the Park, Recreation and Forestry Commission. All lands dedicated under this section shall have at least one hundred feet of frontage on a public street. The Plan Commission and Park Commission may adjust this frontage requirement if better alternatives for access are provided. Of the abutting frontage, a maximum of 100 feet of the prorated costs of public streets, sidewalks, and utilities (normally assessable) shall be paid for by the subdivider or the



DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT

CITY OF MIDDLETON
7426 HUBBARD AVENUE
MIDDLETON, WI 53562-3118

PH 608.821.8394 FAX 608.827.1080
E-MAIL: mopitz@cityofmiddleton.us
WEB: www.cityofmiddleton.us

Date: July 3, 2024

To: Plan Commission

From: Mark Opitz, City Planner & Zoning Administrator

Re: **Proposed or Potential Revisions to Chapter 10 – Zoning Ordinance (Memo #2)**

This memo is the second in a series of revisions that city staff are proposing to make to the new [zoning ordinance](#), which went into effect on March 1, 2024. City staff have been tracking ways in which the ordinance could be improved to improve clarity or to address matters that weren't readily apparent as the ordinance was being drafted. The proposed revisions are presented in the order that the items appears in the zoning ordinance. We welcome your feedback and any further suggestions for improvement.

Definitions (Section 10.01.23)

1. Added a definition of a “freestanding deck.” This was requested at the [5/14/24 PC meeting](#) and is based on the definition used by Oak Creek, WI.

Deck: An uncovered and open platform built above grade and attached to, or separated from, a principal or accessory building, typically supported by pillars or posts. ~~Decks are~~ A deck is considered to be part of a building or structure when it exceeds a height of 12 inches above established grade, in which case it is considered an Elevated Deck. Any deck which is not physically attached to a principal building is considered a Detached or Freestanding Deck. Setbacks shall be measured from the outermost physical boundary of the deck.

2. Added a definition of “established grade.” This definition is adapted from several I reviewed, including Downers Grove, IL. Some communities use the finished grade when it is lower than the established grade, but that seems overly restrictive.

Established grade: The elevation established for the purpose of measuring the height of buildings. Grade shall be the average level of the natural surface of the ground adjacent to a building exclusive of any filling, berming, mounding, or excavating. Where the finished grade is below the level of the established grade, the established grade shall be used for all purposes of this Ordinance.

3. Edited the “Building height” definition based on the discussion at the May 14 meeting. Some communities measure building height to the top of a parapet, but ours makes an exception for parapets up to feet and various other features/structures (see Section 10.04.20).

Building height: The vertical distance as measured from the average elevation between the established grade of the four major corners where the structure is to be located to (a) the highest point of a flat roof; (b) the deck line of a mansard roof; (c) the average height between eaves and ridge for a gable, hip and gambrel roof; or (d) a point on the roof directly above the highest wall of a shed roof. For a structure that steps down a slope, the four major corners of each step of the main structure can be used. If the measurements used for building height are questioned by City staff, the Plan Commission will review and make a determination.

Building height standards in Article 2

Based on the May 14 meeting, I propose removing all references to stories. Here's an example:

Maximum Principal Building Height	36 feet or 3 stories
-----------------------------------	---------------------------------

Section 10.03.03: Regulations Applicable to All Land Uses

The City's stormwater engineer proposes the addition of the following language:

- (15) Site Plan Review Required. All development involving physical modifications to a site including but not limited to new developments, building additions, alterations, or removal; and additions to paving are subject to site plan review and approval in accordance with Section 10.10.43 of this Chapter, except for single family and two family dwelling units on individual lots in any zoning district. Single family and two family dwelling units are required to comply with only Section 10.10.43(2) Site Restrictions.

Section 10.10.41: Zoning Permit Review and Approval Procedures

Planning staff propose the following changes based on our experience working with the new ordinance:

- (2) Applicability. A Zoning Permit shall be required for any of the following activities:
- (a) The establishment of a new principal use of a structure or land.
 - (b) A change in type of principal use of a structure or land.
 - (c) A material increase in the intensity of use of land, such as an increase in the number of businesses, manufacturing establishments, offices or dwelling units (including accessory dwelling units) in a structure or on land.
 - (d) The addition of a structure that increases impervious surface area or potentially affects site drainage patterns.
 - (e)(e) Installation of a new or replacement fence.
 - (d)(f) Commencement of mining or excavation on a parcel of land.

Concept Plan Review

We propose adding language clarifying that "Concept Plan Review" is a step that is available to applicants regardless of whether their project entails a Large Development (see Section 10.06.02(4)) or is located in a Planned Unit Development (see Section 10.10.45(3(b))). The previous ordinance allowed for this optional step and was associated with a \$50 application fee. We would point out that Concept Review does not obligate the Plan Commission to ultimately approve or disapprove a project.

Wisconsin Housing Alliance input

Planning staff followed up on the May 14 PC meeting by asking the Wisconsin Housing Alliance to review the manufactured / modular home references in the new ordinance. Executive Director Amy Bliss kindly took the time to provide feedback on various sections of the ordinance—see separate enclosure. We would welcome any guidance you have before we incorporate these changes into the code.

Middleton Zoning

Pg. 21 – Definition of a manufactured home, manufactured home community, modular home – Code references are old and should be corrected to match current Wisconsin Statutes

Current:

Manufactured home: A one or two family home certified and labeled as a manufactured home under 42 USC 5401-5426 which when placed on the site is set on an enclosed foundation in accordance with Wis. Stats. §70.043(1) and Wis. Admin. Code § COMM 21 subchapters III, IV, and V, or a comparable foundation as approved by the local Building Inspector, is installed according to manufacturer's instructions, is properly connected to utilities, has asphalt shingles and a gable or hip roof, and has insulated glass windows, has vinyl, aluminum or other quality siding.

Corrected to match Wisconsin Statutes

101.91(2)(am):

(2) "Manufactured home" means any of the following:

(am) A structure that is designed to be used as a dwelling with or without a permanent foundation and that is certified by the federal department of housing and urban development as complying with the standards established under [42 USC 5401](#) to [5425](#).

101.91(5m)

(5m) "Manufactured home community" means any plot or plots of ground upon which 3 or more manufactured homes that are occupied for dwelling or sleeping purposes are located. "Manufactured home community" does not include a farm where the occupants of the manufactured homes are the father, mother, son, daughter, brother or sister of the farm owner or operator or where the occupants of the manufactured homes work on the farm.

101.91(10)

(10) "Mobile home" means a vehicle manufactured or assembled before June 15, 1976, designed to be towed as a single unit or in sections upon a highway by a motor vehicle and equipped and used, or intended to be used, primarily for human habitation, with walls of rigid uncollapsible construction, which has an overall length in excess of 45 feet. "Mobile home" includes the mobile home structure, its plumbing, heating, air conditioning and electrical systems, and all appliances and all other equipment carrying a manufacturer's warranty.

101.71(6)(a-b)

(6) (a) "Modular home" means any structure or component thereof which is intended for use as a dwelling and:

1. Is of closed construction and fabricated or assembled on-site or off-site in manufacturing facilities for installation, connection, or assembly and installation, at the building site; or

2. Is a building of open construction which is made or assembled in manufacturing facilities away from the building site for installation, connection, or assembly and installation, on the building site and for which certification is sought by the manufacturer.

(b) "Modular home" does not mean any manufactured home under s. [101.91](#) or any building of open construction which is not subject to par. (a) 2.

Page 37 – Section 10.02.13 MH-D

Does Middleton have this type of zoning district currently? I feel that it should be assessed as to why the MH district only allows 6 dwellings per acre with a minimum lot size of 7200 square feet when a medium density allows 8 units per acre and a minimum lot size of 5000 square feet. I would think that the MH district should be at least the same as a medium density district. The high-density district allows for 14 dwellings per acre and 3000 square feet lots. If you are trying to achieve more affordable housing, you may want to reconsider making the MH district equal to medium or high density to attract more developers.

Page 100-Section 10.03.05 Table of Land Uses

Under this section it would be best to include manufactured homes in the Single Family Residential districts and the two-family residential districts as long as the home meets all requirements of the subdivision. They should not have a blanket exclusion in these districts and excluded to only a manufactured home subdivision or manufactured home community. If you want to exclude single section homes or homes that do not meet design standards, that is understandable, but **today's** Manufactured Homes can be indistinguishable from site built.

Page 104 – Section 10.03.05 Table of Land Uses-Accessory Dwelling Units

It would be good to specify that a manufactured home can be an accessory dwelling unit. Many manufacturers make ADU's specifically for this intended purpose.

Page 112 - Definition of Manufactured home should match the definition or reference the definition on page 21.

Page 112 – “(a) No manufactured Home may be split into two or more residences.” This should maybe be removed because manufactured duplexes are being made and you would not want to exclude those.

The above are suggestion and we welcome any additional questions. For more photos or examples of factory-built housing, we have many photos, floor plans and informational videos on our consumer facing website at www.factorybuiltwisconsin.com. I invite you to see what Today's Manufactured Housing is all about. It can be built quickly, energy efficient, and cost effective as our manufacturers use economies of scale to keep costs low.



ADU

An accessory dwelling unit (ADU) is a smaller, independent residential dwelling unit located on the same lot as a stand-alone (i.e., detached) single-family home. ADUs go by many different names throughout the U.S., including accessory apartments, secondary suites, and granny flats. ADUs can be converted portions of existing homes (i.e., internal ADUs), additions to new or existing homes (i.e., attached ADUs), new stand-alone accessory structures or converted portions of existing stand-alone accessory structures (i.e., detached ADUs).



CrossMod®

Homes built to HUD code and designed to permanently attach to land, creating a real property asset for traditional mortgage-like lending. CrossMods offer the aesthetics and features typically seen in traditional construction. CrossMod® homes are permanently placed on the foundation once they arrive at the final home site, with key interior and exterior features that include site-built or integrated covered porch, garage or carport, durable cabinets, drywall throughout, energy efficient standards, 5/12 roof pitch, a permanent foundation.



Factory Built Home

A dwelling unit fabricated in an off-site manufacturing facility to be installed at a building site. A modular home, manufactured home, and prefabricated wall panels are considered factory-built.



Manufactured Home

Manufactured homes are built to the Manufactured Home Construction and Safety Standards Act which was passed by the U.S. Congress and became law on June 15th, 1976. The HUD Code is administered by the U.S. Department of Housing and Urban Development. HUD regulates the design and construction of manufactured homes, formerly known as mobile homes, to a specific performance code. This is called a preemptive code

because it preempts all local building codes for single family dwellings. The Federal program includes the monitoring of third parties involved in the design review and inspection process. Every HUD home has a special label affixed on the exterior of the home, indicating that the home has been designed, constructed, tested, and inspected to comply with the stringent federal standards set forth in the code. No manufactured home may be shipped from the factory unless it complies with the HUD Code and receives a certification label from an independent third party inspector.



Mobile Home

Predecessor of today's manufactured home. Officially, the name changed following the implementation of the HUD Code requirements in 1976. Many people still use the term even though the mobile home of yesteryear bears little resemblance to the manufactured home of today.



Modular Home

Also called prefabricated homes, factory-built homes, or systems-built home. Modular homes do not have permanently affixed axles or frames, which means they are typically transported to their site on flatbed trucks (off-frame). Sometimes the modular home is transported to the site on their own chassis, which is removed upon arrival at the site (on-frame). Modular homes are not subject to the HUD Code, and instead built to the Wisconsin Uniform Dwelling Code (UDC).



Tiny Home

Sometimes referred to as a park model. It is 14' or narrower and 40' or shorter and less than 400 square feet. Park models are not manufactured homes or modular homes. They are a breed of their own, typically built to an RV code and intended for recreational purposes.

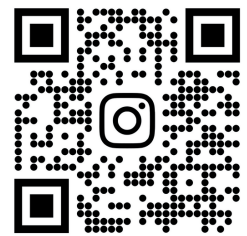
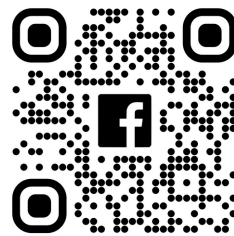
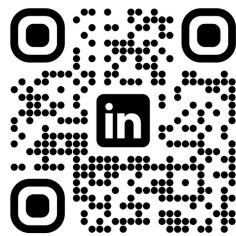


Trailer

Slang reference to manufactured or mobile homes, and no longer valid. This term harkens back to the origins of manufactured housing prior to the issuance of the HUD code standards, and when this basic shelter was towed behind an automobile. This term is no longer relevant to today's modern factory-built housing.

Sources: <https://www.manufacturedhomes.com/resources/glossary/construction-terms/>
<https://planning.org/knowledgebase/accessorydwellings/>

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factorybuiltwisconsin.com



608-255-3131



members@housingalliance.us

Abby Attoun

From: Bill Connors <bill@smartgrowthgreatermadison.org>
Sent: Monday, July 8, 2024 1:03 PM
To: Abby Attoun; Mark Opitz
Cc: Mayor; Daphne Xu
Subject: Smart Growth's Comments re Item 4 on Agenda for July 9 Plan Commission Meeting
Attachments: City of Middleton Building Height.pdf

Abby and Mark:

I would greatly appreciate it if you would forward this email to the members of the Plan Commission this afternoon so they have an opportunity to review it before the Plan Commission's meeting on Tuesday evening.

Chair Sonnentag, Alder Janairo, and Plan Commission Members:

I am writing to you about item 4 on the agenda for your meeting on the evening of Tuesday, July 9, a discussion of possible changes to the zoning code.

Smart Growth Greater Madison strongly urges you to decline to go forward with the definitions of "established grade" and "building height" recommended by city staff and instead direct staff to come back with definitions of these terms like the ones in the city's former zoning code or like the definitions in Madison's zoning code. In more general terms, please instruct city staff to bring you definitions of "established grade" and "building height" that do not effectively reduce the allowed maximum building height by one story if the site of the proposed building slopes downward from where the front of the building would be located. The definitions recommended by staff are completely contrary to the stated goals in the city's Comprehensive Plan and reverse course on the pro-housing-supply provisions elsewhere in the new zoning code.

The Housing Chapter of the 2021 Comprehensive Plan contains the following strategy and action to implement the strategy:

Strategy 1: Increase the amount of housing units available in the City, while ensuring that the overall density of housing (measured in dwelling units per acre) is either maintained or increased with growth.

E. Amend the Zoning Ordinance to reduce the minimum residential lot size for single family homes, increase the maximum building height for multi-family homes, and other modifications to the dimensional standard, where appropriate.

Middleton city government worked for years on a new zoning code to implement this strategy and action, including increasing maximum building heights for multi-family and mixed-use buildings. But the definitions of "building height" and "established grade" recommended by staff will effectively reduce the new maximum building heights by a full story in many locations throughout the city, which will restrict the city's housing supply and drive up rents.

For example, on a parcel zoned Multi-Family Residential - Low Density (MR-L), let's say a developer proposes a new three-story apartment building with parking in a basement level that is exposed at the rear of the building because the grade of the parcel before development slopes downward from where the front of the new building would be located. The building would be 36 feet tall at the front of the building but would be 48 feet tall at the back of the building, including the exposure of the basement parking level at the back of the building.

Under the definitions of "building height" and "established grade" recommended by city staff, the proposed building would be considered to be taller than the 36 feet maximum building height and thus prohibited in MR-L zoning district. Depending on how quickly the pre-development grade starts sloping away from where the front of the building would be located, the most or all of the third story would have to be eliminated to comply with the maximum height limit, which would substantially reduce the number of housing units in the building. As a result, the proposed building probably would not work economically. The developer probably would have to abandon the proposed development project entirely or eliminate the basement parking level and make the footprint of the building much smaller so there would be room for a large surface parking lot behind the building.

If the definitions of "building height" and "established grade" from Middleton's former zoning code or from Madison's zoning code (plus the Madison zoning code's definition of a "basement") were included in Middleton's new zoning code, the apartment building as proposed by the developer in this hypothetical situation, 36 feet tall at the front of the building but 48 feet tall at the back of the building, would comply with the 36 feet maximum height limit in the MR-L district in Middleton's new zoning code. And those definitions are not complex; they are well understood and have been applied for decades.

I have attached a file of photos of buildings that were approved under the former zoning code but probably could not be approved under the new zoning code if it includes the definitions of "building height" and "established grade" recommended by staff, depending on the grades of the parcels that existed before development. However, please see the notes below regarding a few of the slides in this file.

Slide 13 - 6300 University Avenue. The developer of this project did not seek to include a fifth story because the number of parking spaces allowed to be included would not have provided a sufficient parking ratio, in the judgment of the developer, to support the additional dwelling units in a fifth floor. However, if the developer had proposed to include a fifth floor, applying the definitions of "building height" and "established grade" recommended by city staff, the building would have been denied approval because it would be considered too tall as result of the exposure of the basement level at one end.

Slide 14 - Castle Rock. This project was submitted prior to the new zoning code, so the building height was measured only at the front of the building. If this building were proposed under the new zoning code with the definitions of "building height" and "established grade" recommended by staff, the building would be considered too tall as a result of the exposure of the basement level at one end.

Slide 27 - Walkout Basements. This slide was included for the purpose of raising a question about whether two-story houses with a walk-out basement in the back would be permitted under the new zoning code with the definitions of "building height" and "established grade" recommended by staff.

Please instruct city staff to bring you definitions of "established grade" and "building height" that do not effectively reduce the allowed maximum building height by one story if the site of the proposed building slopes downward from where the front of the building would be located.

Thank you for your consideration.

Bill Connors
Executive Director
Smart Growth Greater Madison, Inc.
608-228-5995 (mobile)



25 W Main St - 5th Floor, Suite 33
Madison, WI 53703

Caution: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

City of Middleton Building Height



Lake 61 Apartments – 4 Stories

6100 Lake St.



Photo along Lake St.



Lake 61 Apartments – 4 Stories

6100 Lake St.

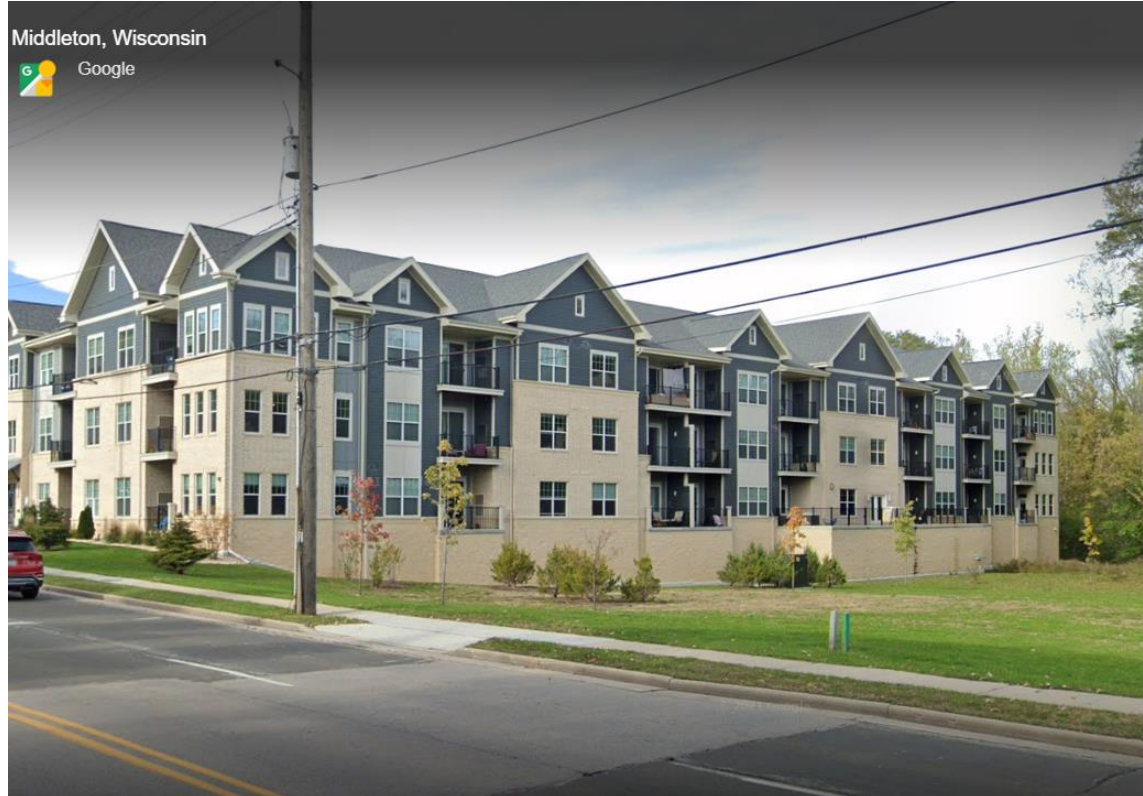


Photo along Century Harbor Rd.



Stagecoach Trail Apartments – 3 Stories

6620 Century Ave



Stagecoach Trail Apartments – 3 Stories

6620 Century Ave



Tribeca Village – 4 Stories

3725 Tribeca Dr



Autumn Ridge– 3 & 4 Stories

3815 Tribeca Dr



The Aviary at Middleton Market – 5 Stories

7628 Lisa Ln



157



Page 17 of 36

Heritage Senior Living – 4 Stories

6234 Maywood Ave



Gradd Parc Condos– 3 Stories

6767 Frank Lloyd Wright Ave.



Cariad Apartments– 4 Stories

6230 University Ave



Cariad Apartments– 4 Stories

6230 University Ave



NW Elevation taken from city
submittal because the side is
blocked by separate treed
parcel

6300 University Project– 4 Stories

6300 University Ave –



3
A401 EAST ELEVATION
SCALE: 1/16" = 1'-0"



2
A401 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

Castle Rock Project – 5 Stories

6418 University Ave



Lakeview Apartments– 2 Stories

2021 Lakeview Ave



Jamestown Newbury Bay Condos– 2 Stories

2132 Allen Blvd



Valencia Place Apartments– 3 Stories

2132 Allen Blvd



Cardinal View Senior Living– 3 Stories

3820 Tribeca Dr



Middleton Ridge – 3 Stories

7130 Belle Fontaine Blvd



Market West Apartments– 4 Stories

8420 Market St



Google

169

Belle Casa Condos – 3 Stories

8520 Greenway Blvd



Deer Creek Apartments– 3 Stories

1264 Deming Way



LeSilve Apartments– 4 Stories

8560 Greenway Blvd



Brownpoint Reserve– 4 Stories

8860 Blackhawk Rd.



Brittany Apartments– 2 Stories

1218 Sweeney Dr



Cedar Crest– 2 Stories

1203 Sweeney Dr



Walkout Basements

