

Plan Commission Agenda

March 12, 2024 - 7:00 PM

Hybrid Meeting

In Person: Middleton City Hall, Council Chambers

Remote: [Zoom.us](https://zoom.us) Meeting ID: 858 3795 0023 Passcode: 548573

Posted on the City's web site at meetings.cityofmiddleton.us

Call to Order & Roll Call

Public Hearings (limited to 3 minutes per speaker)

- 1.) 7:00pm Amendment to City of Middleton Comprehensive Plan 2023 Affecting the Future Land Use (FLU) Map Designation for a Property Located 7617 Terrace Avenue (PC-2437)

BACKGROUND: New Year Investments requests approval of a Future Land Use Map Amendment for 7617 Terrace Avenue to change a property from Established Neighborhood to Downtown Mixed Use in the City of Middleton Comprehensive Plan. New Year Investments will also propose to rezone this property to MU-D (Mixed-Use Downtown) as part of a redevelopment of the Vern's Auto Body Shop and two adjacent parcels (A.A.).

RECOMMENDATION: Hold the public hearing.

ENCLOSURES: Public hearing notice, public comments from Ann Brodek, Jeff Brodek, Carey Fleischmann, JJ Fleischmann, Josh Johnson, Lucienne and Keith Klipstein, Katie Kuester, Chris Laurent, Joe and Danielle Marriner, Jean and Francisco Riojas, Julie Waldren, and Matt Waldren. Statements pertain to this agenda item as well as public hearing #2: 7:00pm Request to Rezone Property South of 7621 Terrace Avenue / West of 1726 Aurora Street and Rezone 7617 Terrace Avenue to Downtown Mixed Use (MU-D) (PC-2644).

- 2.) 7:00pm Request to Rezone Property South of 7621 Terrace Avenue / West of 1726 Aurora Street and Rezone 7617 Terrace Avenue to Downtown Mixed Use (MU-D) (PC-2644)

BACKGROUND: New Year Investments requests approval of a Zoning Map Amendment to rezone two properties from R-2 (Residential, Two-Family Attached Units) in the Current Zoning Ordinance to MU-D (Downtown Mixed Use). (A.A.).

RECOMMENDATION: Hold the public hearing.

ENCLOSURES: Public hearing notice, MU-D standards, public comments from Ann Brodek, Jeff Brodek, Carey Fleischmann, JJ Fleischmann, Josh Johnson, Lucienne and Keith Klipstein, Katie Kuester, Chris Laurent, Joe and Danielle Marriner, Jean and Francisco Riojas, Julie Waldren, and Matt Waldren are included as attachments in public hearing #1: 7:00pm Amendment to City of Middleton Comprehensive Plan 2023 Affecting the Future Land Use (FLU) Map Designation for a Property Located 7617 Terrace Avenue (PC-2437).

Approval of Minutes

- 1.) Plan Commission Minutes of February 27, 2024

Agenda Items

- 1.) Set Public Hearings - Conditional Use Permit for Large Group Development and Drive-Through, Mixed-Use Redevelopment Project, 6300 University Ave. (PC-2666)
BACKGROUND: The applicant is proposing two buildings on one site (with an elevated walkway connecting the two) and a drive-through at this location, which the Plan Commission reviewed in concept last month. The MU-A zoning district allows Drive-Through and In-Vehicle Sales or Service as a conditional use, and all large group developments are conditional uses. (D.X.)

RECOMMENDATION: Set public hearings for Tuesday, April 9th, 2024 at 7:00pm.

- 2.) Sign Design Review - FoxRidge Veterinary Care, 1624 N High Point Rd (PC-1121)
BACKGROUND: The applicant is proposing a new monument sign that will replace a temporary pole sign. The Sign Ordinance, in effect as of March 1st, allows monument signs 6ft in height and 36sf in sign area in MU-N districts. The proposed sign will be 6ft in height and 8.5sf in sign area. The sign will be externally lit, but it will be similar to landscape lighting and not require additional lighting review with the newly adopted Lighting Ordinance. (D.X.)

RECOMMENDATION: Staff recommend approval contingent upon staff approval of a landscaping plan at the base of the sign.

ENCLOSURES: FoxRidge Vet Care Sign.

- 3.) Specific Implementation Plan Modification for Sign Design Review - Chocolate Shoppe Ice Cream, 6709 Frank Lloyd Wright Ave. (PC-2011)
BACKGROUND: The applicant is proposing 3 new signs for the Chocolate Shoppe moving into Middleton Hills. The Chocolate Shoppe will have one sign 9 sf in size along Frank Lloyd Wright, one 19 sf in size on the parking lot side, and then one sign 24 sf in size along Century Ave. The signs facing the parking lot and Century Ave will be internally illuminated while the one on Frank Lloyd Wright will not be illuminated. This commercial area does not have a comprehensive sign plan, and it is zoned Planned Development District. A similar building in a different commercial zone would be allowed 1 sign per street frontage, and signs approximately 40sf in size. (D.X.)

RECOMMENDATION: Staff recommend approval of the signs as a minor SIP modification.

ENCLOSURES: Chocolate Shoppe sign proposal.

- 4.) Concept Review - Eliminate Parking and Access Agreement Related to Greenway Mixed-Use Project (Ponds Redevelopment Site), 8309 Greenway Blvd. (PC-2645)
BACKGROUND: Steve Doran, Galway Companies, is requesting the City endorse removal of a parking and access agreement related to the block of Greenway Center that is bounded by Greenway Boulevard₂ (to the north), John Q. Hammons Dr. (to the

east), Holiday Ave. (to the south), and Deming Way (to the west). The zoning that was approved with conditions for the Ponds redevelopment does not include any surface parking (underground only) and the developer is requesting the City's approval to remove this requirement before closing on this property. The City is not typically a party to private easements related to parking and access, but the agreement includes a stipulation that any changes must be approved by the property owners and the City of Middleton (A.A.).

RECOMMENDATION: Recommend concept approval to the Common Council contingent on resolution of City Attorney and City Engineer comments.

ENCLOSURES: Parking and access agreements.

- 5.) **Amendment to City of Middleton Comprehensive Plan 2023 Affecting the Future Land Use (FLU) Map Designation for a Property Located 7617 Terrace Avenue (PC-2437)**

BACKGROUND: See staff report dated 03-08-24 (A.A.).

RECOMMENDATION: Recommend approval of the FLU map change to the Common Council by Resolution #2024-10, enclosed in the packet.

ENCLOSURES: DRAFT Resolution #2024-10: Plan Commission Resolution to Amend the Comprehensive Plan for the City of Middleton.

- 6.) **Request to Rezone Property South of 7621 Terrace Avenue / West of 1726 Aurora Street and Rezone 7617 Terrace Avenue to Downtown Mixed Use (MU-D) (PC-2644)**

BACKGROUND: See staff report dated 03-08-24 (A.A.).

RECOMMENDATION: Discussion of the rezoning application and comments from the public hearing. Any recommendation to rezone the parcel at 7617 Terrace Avenue must be contingent on Council's approval of the FLU map change to that parcel.

ENCLOSURES: See staff report attached in agenda item #5.

- 7.) **Concept Review - Vern's Auto Body Shop Redevelopment for Multi-Family Housing, 7617-7621 Terrace Avenue (PC-2644)**

BACKGROUND: See staff report dated 03-08-24 (A.A.).

RECOMMENDATION: Feedback to the applicant. Referral of the concept to the Middleton Community Development Authority (CDA) for consideration of allowing the underground parking access from the adjacent CDA-owned parking lot.

ENCLOSURES: See staff report attached in agenda item #5, concept submittal.

- 8.) **Specific Implementation Plan (SIP) - Castle Rock Multi-Family Redevelopment, 6414-6418 University Ave. and 2009 Lakeview Ave. (PC-2647)**

BACKGROUND: See staff report dated 03-07-24 (M.O.)

RECOMMENDATION: Recommend that the Common Council approve the Specific Implementation Plan with the following contingencies:

1. City approval of a certified survey map combining the lots encompassing Phase 1.

2. Completion and City Engineer acceptance of the traffic impact analysis (based on the scope of services provided by the City's consultant) and the developer addressing to the satisfaction of the City Engineer any findings of the TIA prior to issuance of any zoning or building permits.
3. Provision of one indoor bicycle parking space per dwelling unit and nine guest parking spaces, with the design adhering to the standards in Section 10.06.06(7)(i) of the zoning ordinance.
4. City engineer approval of the stormwater management plan
5. Approval of the access and site layout by public safety (Fire/EMS/Police).
6. The developer shall not establish any regulations prohibiting the use of any renewable energy system or technology, nor any regulations prohibiting community gardens / urban agriculture.
7. Future approval of signage details as a minor SIP modification.
8. Resolution of all engineering staff comments and recommendations as indicated in the plan set returned to the developer.

ENCLOSURES: Staff report dated 03-07-24, SIP submittal, revised parking off University.

9.) Request from the Committee of the Whole for Input on Committees/Commissions Structure (COW 02/02/24)

BACKGROUND: The Committee of the Whole requests input on the following:

1. Evaluate the committee liaison position(s) (if you committee has any). Are they useful or not. How would the committee improve or change them if they are useful.
2. Frequency of meeting – Does the committee need to meet on a monthly basis? Would every other month or quarterly work?
3. Committee Consolidation – Is there any opportunity for consolidation with another committee [Note: The Plan Commission is guided by statutory requirements, which are attached in this packet]

RECOMMENDATION: Provide input on the three questions within the bounds of Wis. Stats. 62.23.

ENCLOSURES: Wis. Stats. 62.23.

Adjourn

Posted: 03/08/24 (public comments compiled into packet 03/12/24 at 3:15pm)

It is possible that members of and possibly a quorum of members of other governmental bodies of the municipality may be in attendance at this meeting to gather information; however, no action will be taken by any governmental body at this meeting other than the governmental body specifically referenced in this notice.

Any person who has a qualifying disability as defined by the American With Disabilities Act that requires the meeting or materials at the meeting to be in an accessible location or format must contact the City Administrator at (608) 821-8350, 7426 Hubbard Ave., Middleton, WI at least 24 hours prior to the commencement of the meeting so that any necessary arrangements can be made to accommodate each request.

7:00pm Amendment to City of Middleton **NOTICE OF PUBLIC HEARING**

Amendment to City of Middleton Comprehensive Plan 2023 Affecting the Future Land Use (FLU) Map Designation for a Property Located 7617 Terrace Avenue

Tuesday, March 12th, 2024 at 7:00 p.m.

City of Middleton Plan Commission
Hybrid Meeting (In-Person and Remote Options Available)
In-Person: Middleton City Hall, 7426 Hubbard Avenue
Remote: Zoom meeting via <https://zoom.us/>
Meeting ID: 858 3795 0023 Password: 548573

New Year Investments requests approval of a Future Land Use Map Amendment to change a property from Established Neighborhood to Downtown Mixed Use in the City of Middleton Comprehensive Plan, which can be found at www.cityofmiddleton.us/comprehensiveplan. The applicant plans to construct a multi-family residential building and is also requesting consideration of a zoning map amendment.

Description of property to be rezoned:

CLINTON ADDN BLOCK 11 W 44 FT LOT 1 & ELY 33 FT OF NLY 107 FT OF VAC CAYUGA ST
TAX PARCEL NO: 255-0708-113-0591-0



During the hearing, all interested persons will have an opportunity to speak or register their opinion. Statements are limited to 3 minutes. Written statements may also be provided to City staff by 4:00 p.m. on the day of the hearing. The Plan Commission may take action following the hearing.

To monitor or participate in the meeting remotely, use the Zoom app or go to <https://zoom.us/>, then type in the Meeting ID and Password (above). To participate by phone, call (312) 626-6799 and enter the Meeting ID. Anyone who would like phone access other than via this long-distance telephone number should contact city staff prior to the meeting.

For additional information, or to provide a statement prior to the hearing, contact:

Abby Attoun
Director of Planning & Community Development
aattoun@cityofmiddleton.us (608) 821-8343
7426 Hubbard Ave, Middleton, WI 53562

Abby Attoun

From: Ann Brodek <annbrodek@yahoo.com>
Sent: Saturday, March 9, 2024 4:41 PM
To: Abby Attoun
Cc: District1
Subject: Proposed rezoning and amending the city of Middleton comprehensive plan

You don't often get email from annbrodek@yahoo.com. [Learn why this is important](#)

Hello, Abby,

We spoke a couple of weeks ago and I really appreciate your letting me know about that informal meeting at the brewery. We attended and it was very informative. Most of the people in attendance were in opposition to the proposal. We concur.

I am writing in response to the request to rezone and amend the City of Middleton Comprehensive Plan 2023 affecting future land use map designation for 7617 Terrace Ave. and parcel number 07081130134. My husband and I live across the street from the proposed project and attended that informal community meeting in February.

As a Tree City, Middleton has long maintained a commendable and proud policy of protecting and preserving our green spaces.

In the Middleton Comprehensive Plan, the area being proposed to be developed is designated as an environmental corridor. The hill they plan to cut into has a steep grade. These two conditions, alone, remove these properties from being development sites, according to Middleton's own Comprehensive Plan. From the Plan, page 94: "Middleton will respond to disruptive changes in our climate, ecological and social systems in ways that connect us to an emerging future rather than reacting against patterns of the past, which can mean perpetuating systems that are not sustainable- structural racism, ecological destruction, profit oriented decision making that does not protect people's and the environment's well-being." In this case, we must resist profit oriented decision-making!

Anyone who has seen these properties understands the value of that hillside. Those many mature trees are the reason there isn't an erosion issue. To the west of these parcels, at the skate park, one can easily see the resulting erosion and damage to the steep hillside resulting from removing trees, even with a retaining wall.

While there may be a need for more housing, this is NOT The place to put it! We need to protect this environmental corridor and this tree-protected hillside and stop any plans to disrupt it. If we simply make an exception to Middleton's policy, this area will be irreparably destroyed. The environment cannot speak for itself, nor is there profit to be gained from protecting it, so it is our duty to protect and defend this very unique and important piece of Middleton's legacy. Please do not grant these requests.

Thank you,
Ann Brodek

[Sent from Yahoo Mail for iPad](#)

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To the City of Middleton Plan Commission

Re: New Year Investments Request to Amend/Rezone

This letter offers comments regarding the request of New Year Investments to Rezone Property South of 7621 Terrace Avenue / West of 1726 Aurora Street and Rezone 7617 Terrace Avenue (“the Proposal”).

In plain terms the Proposal asks to destroy a steep wooded hillside that the City of Middleton has designated as an Environmental Corridor. You just don’t do that. The hillside contains a small forest of old growth trees that will be cut down. The location also contains exposed limestone deposits from the Ice Age that the developer is asking to blow up to dig a parking garage. The City’s Comprehensive Planning Study determined that this kind of thing would not happen in Middleton. The City should promote responsible development and not irreversible ecological carnage. The Proposal must be denied.

I would support the developer’s building within the Vern’s footprint.

Thank you for your consideration.

Jeffery R. Brodek
7600 Terrace Ave. #210
jeffbrodek@gmail.com

Abby Attoun

From: Carey Fleischmann <fleiscl0917@gmail.com>
Sent: Tuesday, March 12, 2024 9:03 AM
To: Abby Attoun
Subject: Re: Proposed Terrace development

You don't often get email from fleiscl0917@gmail.com. [Learn why this is important](#)

From Carey Fleischmann, 7510 Hillcrest Ave,
Middleton, 6082122642

On Thu, Mar 7, 2024 at 3:12 PM Carey Fleischmann <fleiscl0917@gmail.com> wrote:

Hi John,

This developer must be stopped. There is absolutely no redeeming value for this project. Its only purpose is to enrich the owner and developer. The hillside on Terrace is the one piece of outstanding natural beauty in downtown Middleton. Blasting it and blocking the view with a 5 story building is awful for everyone in the area. We like to see the hill and woods! Why ruin it for everyone, for the enrichment of a few greedy business people?

The developers are clearly hoping the local housing shortage will encourage city leaders to give in. There are plenty of locations along University Ave with empty buildings on ordinary, flat pieces of land. Build apartments there!!! There is no reason in the world to wreck a beautiful hillside and trees, when you could build on University Ave.

Please do not give in to these rich land owner/developers. All they care about, in this instance, is lining their own pockets.

Have they heard the expression 'You can't take it with you?' But you can take away a beautiful part of downtown Middleton forever.

- Carey Fleischmann, neighbor and frequent Walker on Terrace Ave

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Jim Fleischmann, 7510 Hillcrest Ave, Middleton

I strongly object to the rezoning and apartment building development proposed for Terrace Ave.

I have **3 points** to make:

1. **The development, the blasting and building, would ruin an area of unusual natural beauty. The hillside has a solid stand of mature oak trees, some more than 2 centuries old.** The trees would be chopped down to make way for the concrete poured for apartments. I propose that a detailed environmental analysis be completed. To-date I have not seen any effort on environmental impacts by the city or the developer. We know that deer and fox live in the woods, as they frequently emerge into our back yard above the woods.
2. **The proposed development would blot out the view of the beautiful hillside** from downtown Middleton. Instead, walkers and visitors in downtown Middleton would see a wall of apartments from street level to bluff top.
3. **Our area has already been badly impacted by some of the most extensive apartment developments in the region.** This existing apartment area, visible from our deck, replaced pleasant residences and 2 story commercial buildings with a 3 block by 5 block area of 4 story apartments. The proposed Terrace Avenue development would expand apartment development to the other side of Terrace Ave.

To accomplish the project **a zoning change would be needed. We strongly recommend denying any such rezoning. We don't want our neighborhood destroyed by ruthless developers.** The developers could install single family houses on the site, as has been done nearby, or relocate the plan to open-field locations, and still make tidy profits.

Abby Attoun

From: Josh Johnson <j.johnson@adcidesign.com>
Sent: Tuesday, March 12, 2024 3:01 PM
To: Abby Attoun
Subject: RE: Rezoning of Clinton Addition Block 11

You don't often get email from j.johnson@adcidesign.com. [Learn why this is important](#)

Thank you! I fixed my last sentence. If you could replace it with this one, I would appreciate it.

Josh O. Johnson, AIA, NCARB

senior architect

O 608.254.6181 | M 608.852.2838 | adcidesign.com



From: Abby Attoun <aattoun@cityofmiddleton.us>
Sent: Tuesday, March 12, 2024 9:53 AM
To: Josh Johnson <j.johnson@adcidesign.com>
Subject: RE: Rezoning of Clinton Addition Block 11

Received, and this will be entered into the record for the public hearing and distributed to Plan Commissioners.

Thank you!



Abby D. Attoun, AICP
Director of Planning & Community Development
Office: 608.821.8343
aattoun@cityofmiddleton.us
[Hope to see you soon at the Stone Horse Green!](#)

From: Josh Johnson <j.johnson@adcidesign.com>
Sent: Tuesday, March 12, 2024 9:00 AM

To: Abby Attoun <aattoun@cityofmiddleton.us>

Subject: Rezoning of Clinton Addition Block 11

You don't often get email from j.johnson@adcidesign.com. [Learn why this is important](#)

Good morning Ms. Attoun,

I live at 7017 University and have lived in Middleton since 2001. I wanted to let you know how pleased I was to hear that Jacob Morrison and Anne Neujahr are involved with this project. I have wondered was going to happen to this under utilized site since I noticed it more than 20 years ago. Anne's work with her sister on Ella showed that they are among the most conscientious developers in Middleton and Madison. I met Jacob when he moved here and can tell you that his commitment to design excellence is outstanding and consistent. I very much look forward to this project being completed and I wholeheartedly support it.

Thank you for your time,

Josh

Josh O. Johnson, AIA, NCARB

senior architect

O 608.254.6181 | M 608.852.2838 | adcidesign.com



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Abby Attoun

From: Lucienne Olsen Klipstein <lulubelles@gmail.com>
Sent: Friday, March 8, 2024 4:39 PM
To: Daphne Xu; Abby Attoun
Cc: Andrew/Liz Dingwall
Subject: Five-story apartment bldg. and hillside blasting

Some people who received this message don't often get email from lulubelles@gmail.com. [Learn why this is important](#)

March 9, 2024

Dear Abby and Daphne.

We are the owners of the designated Middleton historic Landmark building, “The Little White Church on the Hillside” at 1720 Aurora St off of Terrace Avenue, which was built in 1870 and is 154 years old.

It was built on the very hillside currently slated for potential blasting for the proposed five-story, 70 unit apartment building.

We have been through the prior iteration of the tearing down of the buildings on Terrace Ave. that actually had some character, and we well recall the months of Jackhammering and horrible vibrations, and the resulting damage one of our Parmenter neighbors experienced. Actual “quality of life” issues.

Our rear yard borders the city’s Conservancy lands, as do our neighbors, the Dingwalls, in back of us.

We all used to see deer and other wildlife, and since the Terrace Av tear down, they appear no longer.

Conservancies are for preservation, not destruction.

Blasting on a hillside can be detrimental to all the homes above and below the hillside. I am deeply concerned regarding potential damage to our very old historic structure, which is our home.

I am extremely concerned regarding the blasting, which can result in potential damage to all the the buildings above and below the hillside, including the what is left of the wildlife. The trees will sustain severe root damage and will begin dying.

Keith Klipstein and I, among many others, are absolutely against the construction of this apartment building.

We will be attending the meeting on March 12 via Zoom. I was going to snail mail this missive, but decided to email it in case it didn't arrive before the meeting.

Most sincerely,

Lucienne and Keith Klipstein
1720 Aurora St., Middleton WI

14214 Manchester Dr.
Naples FL 34114

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Abby Attoun

From: Katie Kuester <ktkuester@gmail.com>
Sent: Monday, March 11, 2024 7:28 PM
To: Abby Attoun
Subject: In support of proposed redevelopment at 7617- 7621 Terrace Avenue

[You don't often get email from ktkuester@gmail.com. Learn why this is important at <https://aka.ms/LearnAboutSenderIdentification>]

Dear Plan Commissioners,

I am a Middleton resident and am in support of adding more needed housing. I cannot attend the meeting but want to encourage the commission to support the proposed redevelopment at 7617- 7621 Terrace Avenue.

Thank you,

Katie Kuester
Sent from my iPhone

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Abby Attoun

From: Christopher Laurent <cjlaurent@urbanapex.com>
Sent: Tuesday, March 12, 2024 2:35 PM
To: Abby Attoun
Cc: Anne Neujahr Morrison
Subject: New Year Terrace Avenue Project

Dear Abby,

I attended the neighborhood meeting a few weeks ago at Capital Brewery for Anne's project and took her on a tour of our property just before. I've been a big fan of her team's work. Their plan is consistent with the neighborhood plan and should enhance the experience on Terrace Avenue. I'm confident that they'll be a good neighbor and support their efforts.

Christopher Laurent
For New Urban Focus, Inc.
Managing Member of Middleton Station Apartments

Christopher Laurent
urbanapex
Madison | Milwaukee | Portland

(503) 869-6544 | [m](mailto:m@urbanapex.com)
www.urbanapex.com

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Abby Attoun

From: Joe Marriner <joeanddanielle2021@gmail.com>
Sent: Monday, March 11, 2024 1:43 PM
To: Abby Attoun
Subject: Support for Future Land Use Amendment for 7617 Terrace Avenue

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Dear Plan Commission Members:

We are the owners of 7617 Terrace Avenue. Although we will be moving in the upcoming months, we have enjoyed our time living in the heart of Middleton. The proposed New Year Investments residential development at 7617 Terrace Avenue- 7621 Terrace Avenue is very appropriate for this site and area. This project would allow for additional residents to enjoy downtown Middleton and help it remain a vibrant community. It would also help solve some of the housing issues that we may face as a community.

We support this project.

Danielle and Joe Marriner

7617 Terrace Avenue

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March 12, 2024

VIA E-MAIL ONLY

Plan Commission

Chris Harp

charp3747@gmail.com

Erin Summers

erin.summers@me.com

Gretchen Erdmann-Hermans

gretchen@steampressllc.com

Randy Bruce

jrandolphbruce@gmail.com

Nick Adams

npadams19@gmail.com

Emily Kuhn

mayor@cityofmiddleton.us

Lisa Janairo

district6@cityofmiddleton.us

Abby Attoun

aattoun@cityofmiddleton.us

Re: Opposition to Amending Comprehensive Plan and Rezoning for New Year Investments Development

Dear Commissioners:

Please be advised that we represent Francisco and Jean Riojas, who reside on Hillcrest Avenue to the South of this proposed development.

My clients oppose the proposed amendments to the City of Middleton Comprehensive Plan 2023 and the Zoning Map requested by New Year Investments, LLC ("New Year"). For the reasons set forth in this letter, my clients urge the Plan Commission to reject the application filed by New Year to amend the Comprehensive Plan with respect to the future land use of the property located at 7617 Terrace Avenue, Middleton, WI (the "Marriner Parcel") from Established Neighborhood to Mixed-Use Downtown ("MU-D") and rezoning for the Marriner Parcel and Dane County Parcel No. 255/0708-113-0513-4 (the "Midthun Parcel") from TR-F: Two-Family Residential – Flat to MU-D. New Year's proposed development, a five story, 70-unit apartment building (the "Project"), cannot be implemented without violating the topography preservation requirements in the City of Middleton Zoning Ordinance (the "Zoning Code"), does not comply

with the City of Middleton Comprehensive Plan (the “Comprehensive Plan”), and does not maintain consistency of land uses, intensities, and impacts within the neighborhood. For the reasons outlined below, the Plan Commission must deny New Year’s application and reject the proposed changes to the future land use of the Marriner Parcel and the rezoning of the Midthun Parcel and the Marriner Parcel.

The Comprehensive Plan outlines the priorities of the City with respect to development. Alterations or changes to the Zoning Code must be consistent with the Comprehensive Plan.¹ The Comprehensive Plan and the zoning for the Marriner Parcel and the Midthun Parcel were considered by this Commission three months ago and, following discussion, the Plan Commission adopted the recommendation of City staff to designate the properties as TR-F instead of MU-D. There has not been any mistake identified or material change in circumstances during the last three months that would justify the alteration of the zoning for these parcels to MU-D.

Even if such a justification exists, the changes proposed by New Year in order to pursue the Project do not comply with the Comprehensive Plan or other restrictions on development within the Zoning Code. While the Comprehensive Plan recognizes the need for additional housing units to accommodate the workforce, the Comprehensive Plan also emphasizes that the City must consider “how a new building will fit into the existing context” of the neighborhood and that the Plan Commission must balance the wishes of neighborhood residents with the housing needs of the community.²

In considering the wishes of the neighborhood residents, the Plan Commission should take into account the burden this development would place on the neighborhood. The topography of the Midthun Parcel is unfavorable to development and unsuitable for the erection of structures. Extensive blasting of the Midthun Parcel would be required to implement the Project. This blasting will be extremely disruptive to the quiet, family-friendly neighborhood surrounding the site.

The use of the Midthun Parcel for the Project would be harmful to the aesthetics and general welfare of the neighborhood and broader community, and may even result in health, safety, or prosperity concerns. In addition to the nuisance, stress, and disruption the blasting will cause, reshaping the land in the way New Year proposes to implement the Project could have ripple effects throughout the neighborhood. Downtown businesses may be disrupted, properties to

¹ See Wis. Stat. §66.1001(3).

² City of Middleton Comprehensive Plan 2023, Page 61.

the South may need to implement erosion controls, and historic neighborhood homes may be damaged by the force and vibrations resulting from blasting. The extensive blasting would alter existing topography and drainage in a way that will adversely affect the adjoining properties. Such an alteration violates the requirement in the Zoning Code that the topography be preserved to protect the natural beauty and character of the landscape.³

When viewed in context, the Project is not appropriate for this site. When land is not suitable for the erection of structures or a particular use, the Plan Commission should exercise its authority to declare the property unsuitable under Section 10.10.43(2)(c) of the Zoning Code. While the Midthun and Marriner Parcels are near the downtown business district, in simple terms, the Project is far too large for the land designated, and the virtual annihilation of the steep hill to the South would alter the character of the neighborhood in impermissible ways.

The Comprehensive Plan recognizes that the need for diverse housing options includes not just larger apartment buildings, but the much-needed “missing middle” housing types – townhomes, duplexes, courtyard apartments, and bungalow courts which help transition from single-family neighborhoods to higher density commercial corridors.⁴ Particularly given the proximity of the Middleton Station apartment building on Terrace Avenue directly across from the Marriner and Midthun Parcels, a project that more closely aligns with the neighborhood and provides some variety to the types of housing facilities available would be more appropriate and consistent with the Comprehensive Plan. The scope of the Project (nearly double the number of units of Middleton Station) and the fact that it is directly adjoining single-family home sites is at odds with the desire to ensure ordered and gradual transitions between single-family residential and higher density commercial corridors.

The Comprehensive Plan recognizes that development also needs to protect and enhance the historic character of the community:

In an increasingly ‘placeless’ form of urban development in cities across the United States, Middleton should protect its precious identity and unique character. Historic preservation is essential to cultural, social, economic, and environmental sustainability. Historic resources are key ingredients to quality of life in Middleton.⁵

³ City of Middleton Zoning Ordinance, Section 10.10.43(2)(b).

⁴ City of Middleton Comprehensives Plan 2023, Page 61.


⁵ *Id.*, Economic Development Strategy 9, Page 86.

While the Comprehensive Plan includes in its long-term action items an expansion of the Downtown District southward along Terrace Avenue to enhance the City core, the proposed Project does nothing to enhance the “charming and eclectic mix of buildings, local shops, and restaurants” which make the Downtown District such an asset to the City.⁶

This Project and the requested changes to the future land use and zoning for the properties in question have far-reaching ramifications and are not consistent with the Comprehensive Plan and Zoning Code. The topographical changes, impact to the neighborhood, and destruction of the woodland greenspace will have a significant detrimental effect on the community. For the reasons outlined above, we respectfully request that the Plan Commission deny this application to amend the Comprehensive Plan and rezone the Midthun Parcel and the Marriner Parcel.

Very truly yours,

STROUD, WILLINK & HOWARD, LLC

By: 
Diana M. Eisenberg

DME/lg

cc: Jean and Francisco Riojas

⁶ *Id.*, Economic Development Strategy 9, Action B, Page 86.

Abby Attoun

From: Julie Waldren <jswaldren@gmail.com>
Sent: Tuesday, March 12, 2024 2:52 PM
To: Abby Attoun
Subject: Written statement for Plan Commission Meeting tonight

To the City of Middleton Plan Commission:

As a member of the Middleton community and a resident of the neighborhood, I strongly oppose the rezoning of the two parcels adjacent to the former Vern's Auto Body shop in order to make way for a Mixed-Use Development of 70 apartment buildings on Terrace Avenue.

Below are some of the ways that this redevelopment and rezoning goes against the [Middleton Comprehensive Plan](#):

Land Use

-
-
- **The Comprehensive Plan says:**
- "Middleton will establish a land use pattern that promotes compact development, protection of natural resources, a range of housing options, mobility, and economic growth in order to maintain an exceptional quality of life." (p. 3, 15)
-
-
-
- **The Vern's Redevelopment is out of line with this because:**
- In this case, the "protection of natural resources" is being sacrificed in favor of building more housing. There are plenty of other sites in Middleton that could be built on without destroying part of an Environmental Corridor. How is tearing down mature
- trees on a wooded hillside, blocking the view of this hillside, and causing potential erosion and destruction of wildlife habitat protecting our natural resources? This will negatively affect the quality of life of the residents who live, work, and visit downtown
- Middleton who appreciate the beautiful woodlands on the hill south of Terrace Avenue. The trees give off oxygen. The wildlife promotes biodiversity. The green hill provides beautiful views of nature above the street. Page 15 of the Comprehensive Plan says
- that Strategy 3 is to "Strive to maintain 25% permanent public open space to promote the health and wellbeing of people and the natural environment." Land identified as part of an Environmental Corridor should be preserved as permanent public open space for
- these reasons. If you can rezone one small part of the Environmental Corridor, what is stopping you from continuing to chip away at these public open lands until they are gone?
-

Green City

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-
- **The Comprehensive Plan says:**
- “Middleton will preserve, protect and enhance our unparalleled connections to nature, agriculture, and water resources, and we will continue to lead with a community-wide stewardship ethic that will equitably mitigate climate change and adapt to our changing environment.” (p. 3, 94)
-
-
-
-
- **The Vern’s Redevelopment is out of line with this because:**
- Just slapping a “green roof” on top of this building is not preserving, protecting, and enhancing our unparalleled connections to nature. Mature trees will be torn down, the hill will be blasted into and dug into to create underground parking. Owls, wild turkeys,
- foxes, songbirds, deer, and other wildlife live in the Environmental Corridor that’s proposed to be rezoned as Mixed-Use-Downtown. Page 95 of the Comprehensive plan talks about “protect[ing] and enhanc[ing] our public lands” such as “conservancies, parks,
- forrests, and trail system,” as well as “Promot[ing] biodiversity and value the many co-benefits provided by species in our ecological biome.” Why do we need to destroy part of an Environmental Corridor in order to make way for new housing? Aren’t there other
- places to build apartments that wouldn’t do this?
-

Governance and Partnerships

-
-
- **The Comprehensive Plan says:**
- “The City of Middleton will continually engage stakeholders, provide high quality and efficient services, and develop partnerships with other agencies and units of government to meet community needs.” (p. 3, 129)
-
-
-
- **The Vern’s Redevelopment is out of line with this because:**
- The city already consulted with the Capital Area Regional Planning Commission (CARPC) about rezoning the Environmental Corridor back in January, before making a public announcement that they were considering doing this. The City did not engage with stakeholders
- such as the neighbors who live in this neighborhood or operate a preschool down the block until after the wheels of this development were set in motion. It seems to many neighbors that you’ve already made up your mind to do this, which is out of line with
- the value of engaging all stakeholders and meeting community needs.
-
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-
- Page 129 of the Comprehensive Plan says the first strategy is to “Continue to actively engage the community by enhancing open and accessible channels of communication between city staff, elected and appointed officials, and all residents and businesses.” Yet the Plan Commission seems ready to approve this rezoning with this public hearing being
- just a formality.
-

Character

-
-
- **The Comprehensive Plan says:**
- “Middleton will embrace the vibrant characteristics that shape our community’s evolving identity while celebrating its heritage.” (p. 3, 88)
-
-
-
- **The Vern’s Redevelopment is out of line with this because:**
- This redevelopment would chip away at both an established residential neighborhood and an established Environmental Corridor. These are vibrant characteristics that are part of our community’s identity and its heritage. We also have historic homes and a historic
- school building on this block that will be negatively impacted by this development, further eroding the character and heritage of our downtown. At least one other home has been damaged by the prior construction in downtown Middleton with no compensation given
- to the homeowner. Does the city value the developers more than the homeowners in already established neighborhoods? This seems out of line with the character of a Good Neighbor City.
-

Thank you for the opportunity to share my thoughts.

Julie Waldren
Middleton resident

Caution:This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Abby Attoun
Director of Planning & Development
7426 Hubbard Avenue
Middleton, WI 53562
aattoun@cityofmiddleton.us

Dear Ms. Attoun,

Our family owns the property at 7704 Hillcrest Avenue, which is directly up the hill from the proposed redevelopment at 7621 Terrace Avenue. We are writing to ask some questions and to express some concerns about this redevelopment.

First, we are concerned that the blasting of the hill area and subsequent construction could cause structural damage to our house's foundation. We know that prior construction in the downtown area has resulted in structural damage to some homes. We would like to know what measures are being taken to prevent such damage. Also, in the event that structural damage does occur, we would like to know what recourse we would have. It would also be good to know what types of documentation would be needed in such a case.

Second, the environmental corridor behind the proposed redevelopment provides environmental benefits that might be disrupted. The corridor is a habitat for various wildlife. We often see deer, foxes, and various bird species in this area. It is a natural green space with mature trees that provides environmental benefits and aesthetic value. These benefits are in line with Middleton's Comprehensive Plan, which aims to "preserve, protect and enhance our unparalleled connections to nature..." Are any measures being taken to minimize disruption to this area? We are also concerned about soil erosion and other possible side effects. We would like to see the environmental corridor preserved.

For these reasons, we oppose the rezoning of the two properties adjacent to the Vern's Auto Repair lot on Terrace Avenue.

Thank you for your time.

Sincerely,
Matt & Julie Waldren

7704 Hillcrest Ave.
Middleton, WI 53562
608-250-0497
jswaldren@gmail.com

NOTICE OF PUBLIC HEARING

Request to Rezone Property South of 7621 Terrace Avenue / West of 1726 Aurora Street and Rezone 7617 Terrace Avenue

Tuesday, March 12th, 2024 at 7:00 p.m.

City of Middleton Plan Commission

Hybrid Meeting (In-Person and Remote Options Available)

In-Person: Middleton City Hall, 7426 Hubbard Avenue

Remote: Zoom meeting via <https://zoom.us/>

Meeting ID: 858 3795 0023 Password: 548573

New Year Investments requests approval of a Zoning Map Amendment to rezone two properties from R-2 (Residential, Two-Family Attached Units) in the Current Zoning Ordinance to MU-D (Downtown Mixed Use) in the DRAFT Zoning Ordinance, which can be found at www.cityofmiddleton.us/zoning. The applicant plans to construct a multi-family residential building.

Description of property to be rezoned:

CLINTON'S ADDN BLOCK 10 LOT 3 & WLY 33 FT VAC CAYUGA ST LYG ADJ
TO & E SD LOT AND CLINTON ADDN BLOCK 11 W 44 FT LOT 1 & ELY 33 FT
OF NLY 107 FT OF VAC CAYUGA ST
TAX PARCEL NOS: 255-0708-113-0513-4 AND 255-0708-113-0591-0



During the hearing, all interested persons will have an opportunity to speak or register their opinion. Statements are limited to 3 minutes. Written statements may also be provided to City staff by 4:00 p.m. on the day of the hearing. The Plan Commission may take action following the hearing.

To monitor or participate in the meeting remotely, use the Zoom app or go to <https://zoom.us/>, then type in the Meeting ID and Password (above). To participate by phone, call (312) 626-6799 and enter the Meeting ID. Anyone who would like phone access other than via this long-distance telephone number should contact city staff prior to the meeting.

For additional information, or to provide a statement prior to the hearing, contact:

Abby Attoun
Director of Planning & Community Development
aattoun@cityofmiddleton.us (608) 821-8343
7426 Hubbard Ave, Middleton, WI 53562

Publish: 2/1/24 and 2/8/24 Times-Tribune

Section 10.02.34: (MU-D) Mixed-Use Downtown Zoning District

Section 10.02.34: (MU-D) Mixed-Use Downtown Zoning District

- (1) Intent. This district is intended to permit downtown commercial and mixed-use development at an intensity which provides significant incentives for infill development, redevelopment, and the continued economic viability of existing development in a modern urban downtown development pattern that is compatible with traditional “Main Street” characteristics of the core blocks in Middleton’s historic downtown as depicted by the Downtown Design Overlay Zoning District. Residential uses are intended to occur at a density that can be accommodated within the bulk requirements of this zoning district.
- (2) Principal Uses Permitted by Right. Refer to Article III for detailed definitions and requirements for each of the following land uses. A Townhouse, Multiplex, or Apartment land use can only be a Principal Use Permitted by Right if the principal structure is located on a lot that has one street frontage, not including alleys. If the principal structure is located on a lot at the corner of two intersecting streets, such uses are not permitted unless they are a component of a Mixed-Use Building.
- | | |
|--|---|
| (a) Townhouse | (m) Bed and Breakfast |
| (b) Multiplex | (n) Commercial Indoor Lodging |
| (c) Apartments | (o) Indoor Maintenance Service
(Nonresidential) |
| (d) Individual Family Living
Arrangement | (p) Indoor Institutional |
| (e) Mixed-Use Building | (q) Outdoor Open Space Institutional |
| (f) Live/Work Unit | (r) Passive Outdoor Recreation |
| (g) Office | (s) Active Outdoor Recreation |
| (h) Personal or Professional Service | (t) Small Scale Public Services and
Utilities |
| (i) Indoor Sales or Service | (u) Community Living Arrangement (1-8
residents) meeting the requirements
of Section 10.03.12 |
| (j) Food and Beverage Counter Service
and Walk-In Pickup | (v) Transit Center |
| (k) Restaurants, Taverns, and Indoor
Commercial Entertainment | (w) Community Garden |
| (l) Group Daycare Center (9 or more
children) | |
- (3) Principal Uses Permitted only as Conditional Use. Refer to Article III for detailed definitions and requirements for each of the following land uses.
- | | |
|---|---|
| (a) Boarding House Living Arrangement | (g) Community Living Arrangement
(16+ residents) meeting the
requirements of Section 10.03.12 |
| (b) Artisan Production Shop | (h) Institutional Residential |
| (c) Physical Activity Studio | (i) Off-Site Parking Lot |
| (d) Commercial Kitchen | (j) Off-Site Structured Parking |
| (e) Outdoor Commercial Entertainment | (k) Communication Tower |
| (f) Community Living Arrangement (9-
15 residents) meeting the
requirements of Section 10.03.12 | (l) Cultivation |
- (4) Accessory Uses Permitted by Right. Refer to Section 10.03.05 Table of Land Uses and Section 10.03.28 for detailed definitions and requirements.
- (5) Accessory Uses Permitted only as Conditional Use. Refer to Section 10.03.05 Table of Land Uses and Section 10.03.28 for detailed definitions and requirements.
- (6) Temporary Uses. Refer to Section 10.03.05 Table of Land Uses and Section 10.03.30 for detailed definitions and requirements.

Sections 10.02.35 to 10.02.39: Reserved

(7) Density, Intensity, and Bulk Regulations for the (MU-D) Mixed-Use Downtown District***.

	Requirement
Minimum Lot Area	7,200 square feet
Maximum Impervious Surface Ratio	100 percent
Minimum Lot Width	None
Minimum Lot Depth	None
Minimum Lot Frontage at Right-of-Way	None****
Minimum Front Setback	Minimum: 0 feet Maximum: 10 feet
Minimum Porch Setback (front and street side yards on corner lots)	NA
Minimum Street Side Setback (on corner lots)	Minimum: 0 feet Maximum: 10 feet
Minimum Side Setback (interior)	0 feet
Minimum Rear Setback	10 feet
Maximum Principal Building Height	60 feet or 5 stories**
Minimum Stepback (from street-facing façade(s))*	15 feet stepback for any building over 4 stories*
Minimum Principal Building Separation	Per the Building Code
Maximum Principal Building Length	250 feet (See Section 10.07.20(3) or 10.07.30(3))
Minimum Pavement Setback (lot line to pavement, excludes driveway entrances)	5 feet on side and rear yards 10 feet from any street right-of-way
Minimum Parking Required	See Section 10.06.06
Minimum Dwelling Unit Structure Area	Per the Building Code
Accessory Buildings:	
Minimum Front Setback	Even with or behind the principal structure
Minimum Side Setback	3 feet
Minimum Side Setback (on corner)	Even with or behind the principal structure
Minimum Rear Setback	3 feet
Maximum Height	15 feet, or 22 feet if the building adheres to principal setbacks

*Any building exceeding 4 stories must provide a minimum 15-foot stepback from any street facing façade after the fourth story and must incorporate façade articulation, if greater than 40 feet in width. See Figure 10.01.23d.

** Building height may exceed 60 feet or 5 stories up to 72 feet or 6 stories pursuant to adhering to the provisions of Sections 10.03.08(1) and 10.03.10(10).

***See Section 10.02.84 for additional design requirements for properties located within the Downtown Design Overlay Zoning District.

****A minimum of one access easement is required per lot without right-of-way frontage.

Sections 10.02.35 to 10.02.39: Reserved

PLAN COMMISSION
City of Middleton
Tuesday, February 27, 2024

MEETING MINUTES

Meeting materials available at: <https://www.cityofmiddleton.us/112/Agendas-Minutes>
Video recording available at: <https://www.youtube.com/watch?v=AXyfpEnmGlo&t=5294s>

CALL TO ORDER & ROLL CALL

Mayor Kuhn called the meeting to order at 7:00 p.m.

Members Present at City Hall: Emily Kuhn (Mayor), Lisa Janairo (Council representative), Nick Adams (PRFC representative), Chris Harp

Members Present on Zoom: Randy Bruce, Gretchen Erdmann-Hermans, Erin Summers

Staff Present: Abby Attoun, Daphne Xu

MINUTES OF FEBRUARY 13, 2024

There were no requests for changes, so Kuhn declared the meeting minutes accepted as prepared.

AGENDA ITEMS

Item #1: Set a Public Hearing for an Amendment to the Comprehensive Plan for the City of Middleton, Future Land Use (FLU) Map Change for Middleton High School Baseball and Softball Field Project, 2100 Bristol Street (PC-2668)

Commissioner Bruce would prefer the two agenda items related to this project be scheduled for the same evening.

Moved by Janairo, seconded by Adams, to set both public hearings (items #1 & 2 on the agenda) for Tuesday, April 9 at 7:00 pm. **Motion passed** 7-0.

Item #2: Set a Public Hearing for a Rezoning from CON (Conservancy) to INST (Institutional) for Middleton High School Baseball and Softball Field Project, 2100 Bristol St. (PC- 2668)

Attoun noted that two committee chairpersons have requested that the application be referred to them prior to the Plan Commission acting on the rezoning request.

Moved by Janairo, seconded by Adams, to refer the request for rezoning to the Conservancy Lands Commission and the Sustainability Committee for feedback from their Committees. **Motion passed** 7-0.

Item #3: Design Review - Lakeview Village Apartments Solar Canopy, 6223 Maywood Ave. (PC-0611) (PC 02-13-24)

As noted in Xu's staff report, the applicants have provided responses to the Plan Commissioner's comments at the last meeting. They intend to plant a new tree elsewhere on the property to replace the mature cottonwood (an undesirable species) that will be removed with this project. They would like to receive approval for Option 1 because of the larger area and potential for energy generation for these apartments.

Moved by Adams, seconded by Harp, to grant design review approval of Option 1 contingent upon submittal of a stormwater plan or staff approval of the patio as a pervious area. **Motion passed** 7-0.

Item #4: Specific Implementation Plan (SIP) Modification for Greenway Station, 1661 Deming Way (PC-1747b)

Summers will be abstaining from this agenda item, and turned her video off.

As noted in Xu's staff report, the applicant is proposing to change the roof style of the future Carter's to be a flat roof instead of the gabled roof it is currently. The new roof will match what was put in on the other side where Michael's and DSW are located. The sign shown will require a separate sign permit application which must comply with the approved Greenway Station Comprehensive Sign Plan.

Brad Koning, Sketchworks Architecture, provided information about the location of the new Carter's store and the renovations to the building for the purpose of adding signage.

Commissioner Bruce said the Plan Commission recently discussed how the architecture is changing at Greenway Station and that there should continue to be cohesive design to the shopping center.

Moved by Adams, seconded by Harp, to approve the building alteration as a minor SIP modification. **Motion passed** 6-0-1 with Summers abstaining.

Item #5: Certified Survey Map (CSM) - Firemen's Park, 7420 North Ave. (PC-2667)

Attoun noted that the purpose of the CSM is to combine the two parcels of land in Firemen's Park. Commissioner Erdmann-Hermans inquired about plans for the property, and Attoun responded that she spoke with Chief Harris and he stated that the Fire Company's intent is the restore the entire area to public parkland. Mayor Kuhn added that there is interest in continuing to host Good Neighbor Fest at this park. Bruce asked for the City and School District's plans for traffic circulation, and Attoun responded that the School District and the Fire Company are working through those issues.

Moved by Janairo, seconded by Adams, to approve the CSM contingent on resolution of staff comments. **Motion passed** 7-0.

Item #6: Preliminary Plat - Garden District (Bruce Company Redevelopment), Multiple Parcels on Parmenter Street, Donna Drive, and Laura Lane (PC-2614)

As noted in Attoun's memo dated 02/23/24, this project has a General Implementation Plan (GIP) approved with conditions. The staff recommendation is to refer the preliminary plat to the Parks, Recreation, and Forestry Commission related to parkland dedication, a proposed land swap, stormwater management on public land, and an outlot on parkland to erect signage about the land dedication. Staff offered alternative options for the Plan Commission to consider as opposed to the outlot and signage.

Mayor Kuhn asked about the parkland dedication and asked Jake Bunz, T. Wall, to provide additional information. Bunz described the discrepancy between the staff opinion of the land dedication and the Bruce Company opinion. Bunz stated that the Bruce Company is dedicating 3.3 acres of parkland. Staff does not want to count the embankment area toward the land dedication, but Bruce Company/T. Wall view it as a huge asset and believe it should be counted towards the parkland dedication requirement.

Janairo asked who would pay for the costs of improvements to the creek corridor, and Bunz said that their team would be willing to donate the improvements along the embankment to make it usable parkland. Janairo asked if the City decides to hold firm to the 3-acre requirement, if park fees in lieu of land dedication would be imposed for the difference, and Attoun said that could be negotiated. Mayor Kuhn asked if the costs for improvement to the embankment could make up the difference in fees if desired by the Parks, Recreation, and Forestry Commission. Janairo asked about the outlot and noted there are two separate issues: 1. The impact to the park and 2. Calling this a donation (setting precedent).

Erdmann-Hermans asked what improvements would be allowed within the creek corridor, and expressed concerns about the stormwater absorption of the conservancy land and embankment being impacted by any hardscape improvements made in the corridor. She asked if this should be referred to Conservancy Lands Committee.

Bruce asked if the land dedication item would be resolved by Common Council before this comes back before Plan Commission. Attoun said the land dedication would need to come back before the Plan Commission before it goes to Common Council. Bruce noted that it was the Council's decision for the 3-acre minimum.

Janairo asked what happened to the previously proposed dog run and Bunz said that it was within the same area that is being proposed as parkland.

Erdmann-Hermans asked about stormwater management within parkland, which could limit the future use of the park if the stormwater area requires maintenance. Bunz indicated that test pits were dug and there are limited areas that are suitable for stormwater management. Commissioner Bruce asked if the design team has looked into green roofs to assist with stormwater, and Bunz said they've explored this with past buildings and there are additional costs associated with green roofs so they aren't pursuing this at this time. He will look into whether these amenities could be provided at grade above underground parking in any of the courtyard areas.

Seth Nicholson, Bruce Company, commented that this has been a very long process and this was approved already by Council but is being opened back up for negotiations. Janairo asked what is being opened back up given that the developer agreed to manage stormwater outside of public parkland. Bunz said that they didn't have soil borings when that statement was made.

Kiley Scherer, Director of Parks and Recreation, agrees that the Parks, Recreation, and Forestry Commission should be considering each of these four policy items and providing a recommendation.

Moved by Janairo, seconded by Adams, to refer the preliminary plat to the Parks, Recreation, and Forestry Commission for a recommendation to the Plan Commission and Common Council for the resolution of the four policy items outlined in the staff memo 02-23-24. **Motion passed** 7-0.

Item #7: Final Plat - Garden District (Bruce Company Redevelopment), Multiple Parcels on Parmenter Street, Donna Drive, and Laura Lane (PC-2614)

Mayor Kuhn asked Jake Bunz if T. Wall would be willing to provide an extension, and Bunz said that they would be willing to grant an extension.

Moved by Janairo, seconded by Erdmann-Hermans, to direct staff to place a recommendation for denial of The Garden District final plat on the Council's 03/05/24 agenda unless staff has received an extension to 04/16/24 to review the final plat. **Motion passed** 7-0.

Item #8: Specific Implementation Plan (SIP) - The Olmsted Multi-Family Building, Garden District (Bruce Company Redevelopment) (PC-2614b)

Moved by Janairo, seconded by Adams, to defer action on this SIP until the final plat is placed on the Plan Commission agenda for approval. **Motion passed** 7-0.

Item #9: Specific Implementation Plan (SIP) - Future Public Road (Garden District Drive), Garden District (Bruce Company Redevelopment) (PC-2614)

Moved by Janairo, seconded by Adams, to defer action on this SIP until the final plat is placed on the Plan Commission agenda for approval. **Motion passed** 7-0.

Item #10: 2023 Annual Report for the City of Middleton Comprehensive Plan (PC-2437)

Attoun reviewed the 2023 Annual Report, noting that the annual report is not a year-to-year measurement of progress because the goals change over time. There are many actions that have recently been completed because they were tied to the recently approved ordinance updates. Staff does not plan to bring forward another full amendment to update these items and would instead like to focus our resources toward other priority initiatives. There are two pending requests for future land use (FLU) map amendments.

Bruce and Erdmann-Hermans commended the plan and encouraged that the Plan Commission and Common Council continue to use and review the plan. Janairo will send some written feedback to staff, including noting that the zoning items should be marked as 3 in the progress column because they are completed. She asked if the staff could make a presentation after the new Council

members are sworn in. Janairo emphasized that the City's budget should be tied to the Comprehensive Plan and to the Strategic Plan.

No action was necessary.

ADJOURNMENT

Kuhn declared the meeting adjourned at 8:38 p.m.

Note: These minutes were prepared by Abby Attoun and are not final until they are formally approved at a subsequent meeting.



PLAN COMMISSION APPLICATION

CITY OF MIDDLETON • 7426 HUBBARD AVE. • MIDDLETON, WI. 53562 • (608) 821-8370 • FAX (608) 827-1080

Plan Commission usually meets the 2nd and 4th Tuesdays of each month at 7 p.m. in the Council Chambers of Middleton City Hall. The following **must be submitted THREE weeks** prior to any Plan Commission meeting for staff review and agenda placement. Failure to submit a complete package may result in the return of all items, a resubmittal fee, and a delay of your project.

1. Plan Commission Application & Checklist (this packet).
2. Required (nonrefundable) fee(s) **and deposit (see chart below)**.
3. One (1) electronic copy of the submittal emailed to planning@cityofmiddleton.us. The plan set must include streetscape and site landscape plans.

Project Address/Name: 1624 N High Point Rd, Middleton, WI 53562, Fox Ridge Veterinary Care

Applicant: Adam Schumann (JNB Sales Rep)		
Address: 1221 Venture Drive, Suite #1, Janesville, WI		
Phone: 608-436-4886	Fax:	Email: aschumann@jnbsigns.com

Owner: Sheryl Allen		
Address: 1624 N High Point Rd, Middleton, WI 53562		
Phone: (608) 836-0600	Fax:	Email: sallen@foxridgevetcare.com

Project Description: (1) 7'0 x 6'10" double Sided ground sign reading "Fox Ridge Veterinary Care 1624 N High Point Road". Sign doesn't have any form of lighting currently. This will need to be done by an electrician.

Owner/Applicant Signature: (JNB Sales Rep) Date: 2/27/24

- Note:**
- City ordinances are on the City website at <https://www.cityofmiddleton.us/115/City-Code-of-Ordinances>
 - Applicants must check with the Building Inspection Dept. to determine if any permits are required.

Fees (check what applies):	
Certified Survey Map (+GIS fees) *	\$400 + \$55/lot
Concept Review	\$50
Conditional Use Permit	\$500
Design Review	\$200
Design Review Revisions	\$50
Final Plat (+GIS fees)	\$900 + \$80/lot
Preliminary Plat	\$400 + \$50/acre
Rezoning	\$500-\$2,000**
Sign Design Review	\$50
Sign Variance	\$500
SIP/SIP Modification*	\$50-\$500**
Future Land Use Map Amendment	\$200

* Specific Implementation Plan in Planned Development District = \$500. Minor Modification = \$300, SIP Major Modification = \$500, SIP Modification (revision) = \$50
 ** Fee based on cost of project. **For Rezoning:** single lot or project = \$500, larger projects and PDD rezoning requests = \$2,000

Deposit
An Escrow Deposit of \$5,000 is required per Ord. 10.128(2) to cover project review costs by outside consultants when necessary. See attached excerpt from City Ordinances.
Waiver authorized: <input type="checkbox"/> _____ date _____
TRAFFIC IMPACT ANALYSIS Required Yes <input type="checkbox"/> No <input type="checkbox"/>



PERMANENT SIGN PERMIT APPLICATION

CITY OF MIDDLETON • 7426 HUBBARD AVE. • MIDDLETON, WI. 53562
PHONE (608) 821-8370 • WWW.CITYOFMIDDLETON.US

Address of Property: 1624 N High Point Rd, Middleton, WI 53562
Business Name: Fox Ridge Veterinary Care

PERMIT #:	_____ / ____ / ____
Staff review <input type="checkbox"/>	Plan Cmsn <input type="checkbox"/>
Zoning:	_____ / ____ / ____
Permit Fee: _____	Fee Paid: <input type="checkbox"/>
Approved by:	_____
Date:	____ / ____ / ____

	APPLICANT (SIGN OWNER)	CONTRACTOR
Name:	Sheryl Allen	JNB Signs
Address:	1624 N High Point Rd, Middleton, WI 53562	1221 Venture Drive, Suite #1, Janesville, WI
Phone #:	(608) 836-0600	608-436-4886
Email:	sallen@foxridgevetcare.com	aschumann@jnbsigns.com

SITE / BUILDING DATA: (Fill out applicable sections)

	GROUND SIGN	ALL OTHER SIGNS
Primary street frontage:	# of Lanes: <u>2</u> Speed Limit: <u>25</u>	Façade length*: _____
Secondary street frontage: (if applicable)	# of Lanes: _____ Speed Limit: _____	Façade length*: _____

* For the portion occupied by the applicant.

NEW SIGN DATA:

	TYPE	LOCATION ON BUILDING / SITE	LIGHTING	SQ.FT.
1.	G	In front of the building on the ground.	N/A	48 sqft.
2.				
3.				
4.				
5.				
6.				
TOTAL:				48 sqft

Sign Type:
A = Awning/Canopy
B = Banner/Flag
G = Ground
H = Hanging
P = Projecting
W = Wall
Win = Window
O = Other

CHECKLIST: (See reverse side; Attach sheet(s) as necessary)

- ___ Inventory of existing signs: Indicate sign type, dimensions; whether the sign will remain in place, be relocated, or be replaced.
- ___ Description of each new sign (see Application Checklist).
- ___ For ground signs, submit a landscaping plan around the sign base and a site plan / map (see Checklist).
- ___ For multi-tenant buildings, verify that each sign adheres to an approved Comprehensive Sign Plan.
- ___ Permission to display the sign(s) in this location. (A permit will not be issued without demonstration of approval by building owner / landlord / architectural review committee.)
- ___ Fee payment and, if necessary, Plan Commission application form and fee (see reverse side for more info).

I agree to comply with all applicable codes, statutes and ordinances, and with the conditions of this permit. I understand that the issuance of the permit creates no legal liability, express or implied, on the city. I certify that all the above information is accurate, and that I am authorized by the property owner or lessee to erect the proposed sign(s).

Applicant Signature: *Adam Schumann* (JNB Sales Rep) Date: 2/27/24
Print Name: Adam Schumann (JNB Sales Rep) Phone: 608-436-4886

D/F MONUMENT SPECIFICATIONS



- MAP Satin White
- PMS 7489c Green
- PMS 7699c Blue
- 3M 7725-12 Black
- 3M 7725-10 White

SECTION A
 Drawing Scale: 1/2" = 1'
 As shown on a 17" x 11" Tabloid

DESCRIPTION A

- FACES :** (4) .090" aluminum panels bonded to frames, decorated with vinyl
- POSTS:** (2) 4" sq aluminum posts directly buried in augured concrete with 2" aluminum cross supports and 1" aluminum angle plug welded to posts. Posts capped.
- GRAPHICS :** (2) Dog and cat digitally printed, opaque die-cut vinyl, to match color key, (2) Black letters /line -3M opaque die-cut vinyl (7725-12), (2) Address 3M opaque die-cut vinyl (7725-10) White, all applied to first surface.
- FINISHES :** Top ID panels/Top portion of poles & caps prepped & painted MAP Satin "White"
 Bottom panels / Bottom portion of poles prepped and painted to match PMS 7699c Blue.
- LIGHTING :** 2 ground lights ran from existing electrical box, supplied by others.
- ELECTRICAL :** Existing electrical box about 25' from sign. Existing light currently illuminates building.

VOLTAGE

120 Volts

277 Volts

Survey Needed

Detailed survey of existing location required prior to beginning manufacturing.



Existing elevation



New sign and lights in place



This original and unpublished design is copyrighted and the exclusive property of JNB Signs, Inc. and is not to be exhibited, copied or reproduced in whole or in part without written permission.

CLIENT :
 FoxRidge Veterinary Care

JOB LOCATION :
 Middleton, WI

SALESMAN :
 Adam Schuman

DESIGNER :
 Gary

REVISION HISTORY :

Initial Drawing Release			
A	DATE	REQUESTED BY	UPDATED BY
	11-3/23	AS	GS
General Revision			
B	DATE	REQUESTED BY	UPDATED BY
	11-13/23	AS	GS
General Revision			
C	DATE	REQUESTED BY	UPDATED BY
	12-28/23	AS	GS
General Revision			
E	DATE	REQUESTED BY	UPDATED BY
	2-21/24	AS	SF
F	DATE	REQUESTED BY	UPDATED BY
	2-22/24	AS	SF

PRODUCTION APPROVAL :

INITIAL	DATE

CLIENT SIGNATURE :

	DATE
--	------

10229-02f
 Revision 05
 2-22/23



PLAN COMMISSION APPLICATION

CITY OF MIDDLETON • 7426 HUBBARD AVE. • MIDDLETON, WI. 53562 • (608) 821-8370

Plan Commission usually meets the 2nd and 4th Tuesdays of each month at 7 p.m. in the Council Chambers of Middleton City Hall. The following **must be submitted THREE weeks** prior to any Plan Commission meeting for staff review and agenda placement. Failure to submit a complete package may result in the return of all items, a resubmittal fee, and a delay of your project.

1. Plan Commission Application.
2. Required (nonrefundable) fee.
3. One (1) electronic copy of submittal emailed to cheusser@cityofmiddleton.us.

Project Address/Name: 6709 Frank Lloyd Wright Ave Suite 100, Middleton, WI 53562

Applicant: Bill Downs	
Address: 3223 Parmenter St. Middleton, WI 53562	
Phone: 608-843-4562	Email: bdowns@alphagraphics.com

Owner: Andy Lanz	
Address: 6709 Frank Lloyd Wright Ave Suite 100, Middleton, WI 53562	
Phone: 608-438-4739	Email: andy@lanzrestaurants.com

Project Description: (3) new wall signs. (2) LED illuminated channel letter sets and (1) non lit flat cut aluminum letters

Owner/Applicant Signature:  Date: 2/22/2024

- Note:**
- City ordinances are on the City website at <https://www.cityofmiddleton.us/115/City-Code-of-Ordinances>
 - Applicants must check with the Building Inspection Dept. to determine if any permits are required.

Fees (check what applies):	
Certified Survey Map	\$200 + \$25/lot
Concept Review	\$50
Conditional Use Permit	\$300
Design Review	\$200
Design Review Revisions	\$50
Final Plat	\$400 + \$50/lot
GIS (cost to update City records)	See below**
Preliminary Plat	\$400 + \$50/acre
Rezoning	\$400-\$2,000***
Sign Design Review	\$50
Sign Variance	\$200
SIP/SIP Modification*	\$50-\$400

* Specific Implementation Plan in Planned Development District
 ** Land Divisions: **Plat** = \$500 + \$30/ lot; **CSM** = \$200 + \$30/lot;
Public Improvements = \$0.75 x total pipe length (total footage of all public pipes + private storm water pipes)
 *** Fee based on cost of project. **For Rezonings:** single lot or project = \$400, larger projects and PDD rezoning requests = \$1,000 for projects up to 50 acres, and \$2,000 for projects over 50 acres. **For SIP Modifications:** projects under \$10,000 = \$50, between \$10,000 and \$50,000 = \$200, and over \$50,000 = \$400.

Deposit
An Escrow Deposit of \$5,000 is required per Ord. 10.128(2) to cover project review costs by outside consultants when necessary. See attached excerpt from City Ordinances.
Waiver authorized: <input type="checkbox"/> _____ date _____
TRAFFIC IMPACT ANALYSIS Required Yes <input type="checkbox"/> No <input type="checkbox"/>



PERMANENT SIGN PERMIT APPLICATION

CITY OF MIDDLETON • 7426 HUBBARD AVE. • MIDDLETON, WI. 53562
PHONE (608) 821-8370 • FAX (608) 827-1080 • WWW.CITYOFMIDDLETON.US

Address of Property: 6709 Frank Lloyd Wright Ave Suite 100, Middleton, WI 53562

Business Name: Chocolate Shoppe Ice Cream

PERMIT #:	_____ / ____ / ____
Staff review <input type="checkbox"/>	Plan Cmsn <input type="checkbox"/>
Zoning:	_____ / ____ / ____
Permit Fee: _____	Fee Paid: <input type="checkbox"/>
Approved by:	_____
Date:	___ / ___ / ___

APPLICANT (SIGN OWNER)		CONTRACTOR	
Name:	Andy Lanz	Alphagraphics - Middleton	
Address:	6709 Frank Lloyd Wright Ave Suite 100, Middleton, WI 53562	3223 Parmenter St. Middleton, WI 53562	
Phone #:	608-438-4739 Fax #:	608-836-9999	Fax #:
Email:	andy@lanzrestaurants.com	bdowns@alphagraphics.com	

SITE / BUILDING DATA: (Fill out applicable sections)

	GROUND SIGN	ALL OTHER SIGNS
Primary street frontage:	# of Lanes: _____ Speed Limit: _____	Façade length*: _____
Secondary street frontage: <i>(if applicable)</i>	# of Lanes: _____ Speed Limit: _____	Façade length*: _____

* For the portion occupied by the applicant.

NEW SIGN DATA:

	TYPE	LOCATION ON BUILDING / SITE	LIGHTING	SQ.FT.
1.	w	Frank Lloyd Wright Ave elevation	n/a	9 sq. ft.
2.	w	Century Ave elevation	LED	24 sq. ft.
3.	w	Parking Lot elevation	LED	19 sq. ft.
4.				
5.				
6.				
TOTAL:				52

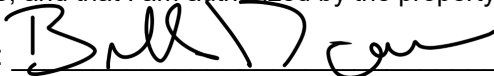
Sign Type:

- A = Awning/Canopy
- B = Banner/Flag
- G = Ground
- H = Hanging
- P = Projecting
- W = Wall
- Win = Window
- O = Other

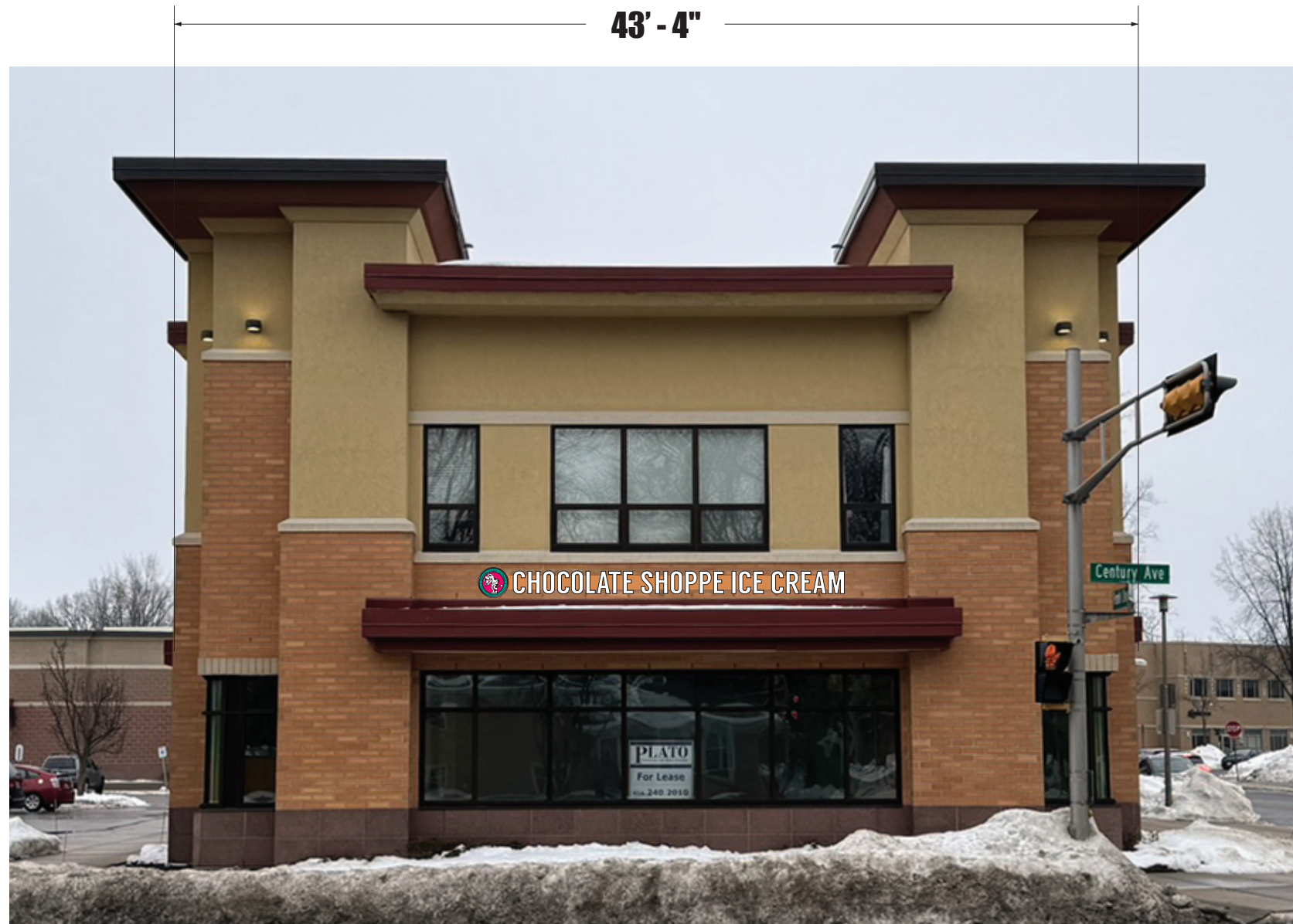
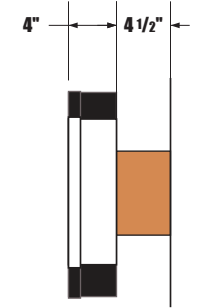
CHECKLIST: (See reverse side; Attach sheet(s) as necessary)

- ___ Inventory of existing signs: Indicate sign type; dimensions; whether the sign will remain in place, be relocated, or be replaced.
- ___ Description of each new sign (see Application Checklist).
- ___ For ground signs, submit a landscaping plan around the sign base and a site plan / map (see Checklist).
- ___ For multi-tenant buildings, verify that each sign adheres to an approved Comprehensive Sign Plan.
- ___ Permission to display the sign(s) in this location. (A permit will not be issued without demonstration of approval by building owner / landlord / architectural review committee.)
- ___ Fee payment and, if necessary, Plan Commission application form and fee (see reverse side for more info).

I agree to comply with all applicable codes, statutes and ordinances, and with the conditions of this permit. I understand that the issuance of the permit creates no legal liability, express or implied, on the city. I certify that all the above information is accurate, and that I am authorized by the property owner or lessee to erect the proposed sign(s).

Applicant Signature:  Date: 2/22/2024

Print Name: Bill Downs 38 Phone: 608-836-9999



JOB DESCRIPTION

A) LED ILLUMINATED CHANNEL LETTERS.
 -4" ALUMINUM RETURNS. PREFINISHED WHITE.
 -WHITE TRIM CAP
 -WHITE ACRYLIC FACES
 -ILLUMINATE WITH WHITE LEDs
 -MOUNT FLUSH TO RACEWAY (C)

B) LED ILLUMINATED CHANNEL LOGO
 -4" ALUMINUM RETURNS. PREFINISHED BLACK.
 -BLACK TRIM CAP
 -WHITE ACRYLIC FACES WITH DIGITALLY PRINTED GRAPHICS APPLIED.
 -ILLUMINATE WITH WHITE LEDs
 -MOUNT FLUSH TO EXTERIOR WALL

C) EXTRUDED ALUMINUM RACEWAY. PAINT TO MATCH BUILDING.

INSTALL ASSEMBLED SIGN EXTERIOR WALL. CUSTOMER RESPONSIBLE FOR RUNNING ELECTRICAL TO SIGN LOCATION PRIOR TO INSTALLATION.

- PAINT TO MATCH BUILDING COLOR - TBD
- LETTER RETURNS, TRIM CAP AND FACES - WHITE
- LOGO RETURNS AND TRIM CAP - BLACK

ILLUMINATED NIGHT VIEW





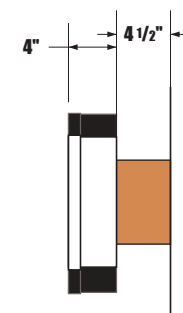
JOB DESCRIPTION

FLAT CUT ALUMINUM LETTERS AND LOGO

3/8" ALUMINUM. PAINT LETTERS WHITE AND LOGO BLACK.
 APPLY DIGITALLY PRINTED VINYL TO LOGO PIECE. MOUNT TO
 EXTERIOR WALL WITH 1/2" SPACERS.

PAINT - WHITE 

PAINT - BLACK 



JOB DESCRIPTION

- A) LED ILLUMINATED CHANNEL LETTERS.
- 4" ALUMINUM RETURNS. PREFINISHED WHITE.
- WHITE TRIM CAP
- WHITE ACRYLIC FACES
- ILLUMINATE WITH WHITE LEDs
- MOUNT FLUSH TO RACEWAY (C)

- B) LED ILLUMINATED CHANNEL LOGO
- 4" ALUMINUM RETURNS. PREFINISHED BLACK.
- BLACK TRIM CAP
- WHITE ACRYLIC FACES WITH DIGITALLY PRINTED GRAPHICS APPLIED.
- ILLUMINATE WITH WHITE LEDs
- MOUNT FLUSH TO EXTERIOR WALL

- C) EXTRUDED ALUMINUM RACEWAY. PAINT TO MATCH BUILDING.

INSTALL ASSEMBLED SIGN TO EXTERIOR WALL. CUSTOMER RESPONSIBLE FOR RUNNING ELECTRICAL TO SIGN LOCATION PRIOR TO INSTALLATION.

- PAINT TO MATCH BUILDING COLOR - TBD
- LETTER RETURNS, TRIM CAP AND FACES - WHITE
- LOGO RETURNS AND TRIM CAP - BLACK

ILLUMINATED NIGHT VIEW



Bill Downs <bdowns@alphagraphics.com>

Re: Sign proofs

1 message

erdmanenterprises@tds.net <erdmanenterprises@tds.net>
To: Bill Downs <bdowns@alphagraphics.com>
Cc: Andy Lanz <andy@chocolateshoppeicecream.com>

Thu, Feb 22, 2024 at 8:21 AM

Bill,

I approve your proofs for the Chocolate Shoppe signage on my tenant space at 6709 Frank Lloyd Wright Ave.

Dan Erdman

From: "Andy Lanz" <andy@chocolateshoppeicecream.com>
To: "Bill Downs" <bdowns@alphagraphics.com>, "erdmanenterprises tds. net" <erdmanenterprises@tds.net>
Sent: Wednesday, February 21, 2024 4:37:59 PM
Subject: Fwd: Sign proofs

Hi Dan,

Attached are the signs I'd like to install. If these are ok with you, can you reply all to this email as such? My sign guy needs LL approval for the city.

Cheers,

Andy

----- Forwarded message -----

From: **Bill Downs** <bdowns@alphagraphics.com>
Date: Fri, Jan 26, 2024 at 1:23 PM
Subject: Re: Sign proofs
To: Andy Lanz <andy@chocolateshoppeicecream.com>

Here are now proofs with things maxed out. I think these would fit into what is allowed per city code. I stopped and got measurements and new photos. Just let me know what you think.

Thanks!

Bill Downs

Sign Manager



3223 Parmenter St.
Middleton, WI 53562

P: 608.836.9999

D: 608.836.2962

C: 608.843.4562

www.alphagraphicsmiddleton.com

I hope you like our service, mind sharing a [google review](#)?

On Fri, Jan 26, 2024 at 10:26 AM Andy Lanz <andy@chocolateshoppeicecream.com> wrote:

Hi Bill,

I think we should definitely go for the larger version. Can you do the calculations on how big they can go?

Thanks,

Andy

On Thu, Jan 25, 2024 at 1:08 PM Bill Downs <bdowns@alphagraphics.com> wrote:

Hey Andy,

Attached are the proofs with the signs at the same size as the old signs. I also included a proof with the signs larger to fill the space. I don't have details on those yet, I need to go pull a couple of measurements.

The sign facing the parking lot and the sign facing Century Ave are illuminated channel letters on raceways. The sign facing Frank Lloyd Wright are non lit metal letters/logo, I am assuming it was like that due to the small size.

Let me know what you think.

Thanks!

Bill Downs

Sign Manager



[3223 Parmenter St.](#)
[Middleton, WI 53562](#)

P: 608.836.9999

D: 608.836.2962

C: 608.843.4562

www.alphagraphicsmiddleton.com

I hope you like our service, mind sharing a [google review](#)?

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Andy Lanz | Chocolate Shoppe Ice Cream | 608-438-4739 | andy@chocolateshoppeicecream.com |
|Fitchburg | Middleton | Monroe St | Cottage Grove Rd | Sun Prairie | Alliant Energy Center | Camp Randall |
Kohl Center |

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Andy Lanz | Chocolate Shoppe Ice Cream | 608-438-4739 | andy@chocolateshoppeicecream.com |
|Fitchburg | Middleton | Monroe St | Cottage Grove Rd | Sun Prairie | Alliant Energy Center | Camp Randall | Kohl
Center |



MIDDLETON HILLS
NEIGHBORHOOD
ASSOCIATION

This is a fillable form.
When complete, print and
submit with materials to:

Middleton Hills
Architectural Review
Committee (MHARC)

DSI Real Estate Group, LLC
Attention: Serena Pretti
708 River Place
Madison, WI 53716

Or scan and email with
attachments to:
mharc@middletonhills.org

APPROVED
Middleton Hills
Architectural
Review Committee

2/27/24

Serena Pretti

Date Received 2/22/24

Signage Design Review Application

Lot Number ^{6709 Frank Lloyd Wright}
Owner Chocolate Shoppe Ice Cream
Address 2831 Parmenter St
City/State/Zip Middleton, WI 53562
Phone 6084384739 Mobile _____
Email andy@chocolateshoppeicecream.com

SIGN DESIGNER Bill Downs
Firm Alpha Graphics
Address 3223 Parmenter St
City/State/Zip Middleton, WI 53562
Phone 6084108890 Mobile _____
Email bdowns@alphagraphics.com

PLEASE SUBMIT

- A plot plan, dimensioned, showing the location of the building and lot upon which the proposed sign is to be attached or erected.
- Photographs showing the location of the proposed sign and its relationship to the building to which it is to be mounted or the surrounding area if it is not a wall sign.
- A color image showing the proposed sign on a digital photo or a colored scaled elevation of the building showing the sign.
- Drawing of the proposed sign showing the message to be displayed and method of construction, landscaping and attachment to the building or ground.
- A description of all electrical equipment and attachments if the sign is to be lighted or illuminated.

Submitted by *Andrew* Date 2/22/24
Signature _____



DANE COUNTY REGISTER OF DEEDS

DOCUMENT # 4320048

06/13/2007 08:01AM

Exempt #:

Rec. Fee: 11.00 Pages: 1

Document Number



AFFIDAVIT OF CORRECTION

Pursuant to s. 236.295(1) (a), Wis. Stats., I, Jeffrey R. Quamme, Registered Land Surveyor, S-1922, hereby certify that Note (1) of NOTES on Sheet 1, Dane County Certified Survey Map No. 12148, recorded in Volume 75 of Certified Survey Maps, Pages 52, 53 and 54, Document No. 4307916 at the Dane County Register of Deeds, refers to an incorrect Document Number within the body of the text.

The incorrect Note (1) is as follows: LOTS 1 AND 2 OF THIS CERTIFIED SURVEY MAP (F.K.A. LOT 1, CSM NO. 8716) ARE SUBJECT TO A COMMON PARKING AND ACCESS AGREEMENT WITH LOTS 2 AND 3 OF CERTIFIED SURVEY MAP NO. 8716 AS SET OUT IN DOCUMENT NO. 2894060.

Recording Area

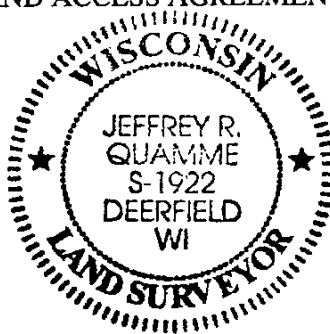
Name and Return Address: Jeffrey R. Quamme, RLS Vierbicher Associates, Inc. 999 Fourier Drive, #201 Madison, WI 53717

Parcel Identification Numbers (PIN) 0708-104-9755-2 0708-104-9770-2

This Note (1) shall be corrected to read as follows: LOTS 1 AND 2 OF THIS CERTIFIED SURVEY MAP (F.K.A. LOT 1, CSM NO. 8716) ARE SUBJECT TO A PARKING AND ACCESS AGREEMENT WITH LOTS 2 AND 3 OF CERTIFIED SURVEY MAP NO. 8716 AS SET OUT IN DOCUMENT RECORDED SEPTEMBER 25, 1997 AS DOCUMENT NO. 2891858, AS AMENDED BY THE AMENDMENT TO PARKING AND ACCESS AGREEMENT RECORDED MAY 4, 2007 AS DOCUMENT NO. 4305573.

Dated this 6th day of June, 2007

Jeffrey R. Quamme, R.L.S. No. 1922



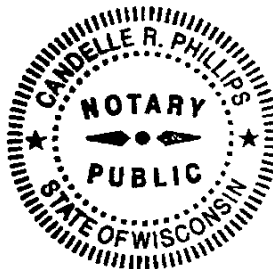
STATE OF WISCONSIN))ss. COUNTY OF DANE)

Personally came before me this 6th day of June, 2007, to me known to be the person who executed the foregoing instrument and acknowledged the same.

My Commission Expires 6-14-09

Candelle R. Phillips

Instrument drafted by Jeffrey R. Quamme





* 4 3 2 0 0 4 7 8 *

DANE COUNTY REGISTER OF DEEDS

DOCUMENT # 4320047

06/13/2007 08:01AM

Exempt #:

Rec. Fee: 25.00
Pages: 8



AFFIDAVIT OF CORRECTION

Document Number

(TYPE OR PRINT CLEARLY IN BLACK OR RED INK)

AFFIANT, MICKEY N. CONRAD, hereby swears or affirms that a certain document which was titled as follows: AMENDMENT TO PARKING AND ACCESS AGREEMENT recorded on the 4 day of MAY, 2007 (year) in volume _____, page _____, as document number 4305573 and was recorded in DANE County, State of Wisconsin,

Recording Area

Name and Return Address

MICKEY N. Conrad
General Counsel
T. Wall Properties
P.O. Box 7700
Madison, WI 53707-7700

Parcel Identification Number (PIN)

0708-104-9753-2
0708-104-9770-2
0708-151-0375-6
0708-151-0345-2

AFFIANT makes this Affidavit for the purpose of correcting the above document as follows (if more space is needed, please attach addendum):

Exhibit A therein is correctly described as Lots 1 and 2 of Certified Survey Map No. 12148, recorded in Volume 75 of Certified Survey Maps, on Pages 52 through 54, as Document No. 4307916; Exhibit B therein is correctly described as Lot 2 of Certified Survey Map No. 8716, recorded in Volume 48 of Certified Survey Maps, on Pages 107 through 109, as Document No. 2894060; Exhibit C therein is correctly described as Lot 3 of Certified Survey Map No. 8716, recorded in Volume 48 of Certified Survey Maps, on Pages 107 through 109, as Document No. 2894060.

A copy of the original document (in part or in whole) is is not attached to this Affidavit (if a copy of the original document is not attached, please attach legal description).

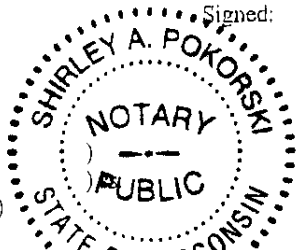
Dated: June 7, 2007.

Signed:

Mickey N. Conrad
Mickey N. Conrad

State of Wisconsin

County of Dane



Subscribed and sworn to (or affirmed) before me this 7 day of June, 2007

Shirley A. Pokorski

Notary Public, State of Wisconsin
My Commission (expires) (is): 5/16/2010

Affiant is the (check one):

- Drafter of the document being corrected
- Owner of the property being described in the document being corrected
- Other - Explain

This instrument is drafted by: MICKEY N. CONRAD

THIS FORM IS INTENDED TO CORRECT SCRIVENER'S ERRORS AND NOT FOR THE CONVEYANCE OF REAL PROPERTY.

Document Number

AMENDMENT TO PARKING AND ACCESS AGREEMENT

THIS AMENDMENT TO PARKING AND ACCESS AGREEMENT (this "Amendment") made this ___ day of March, 2007, by Greenway Office Center L.L.C., a Delaware limited liability company (hereinafter referred to as the "Owner").

RECITALS:

Owner is the owner of the property legally described in Exhibit A (hereinafter referred to as "Lot 1"), the property legally described in Exhibit B (hereinafter referred to as "Lot 2"), and the property legally described in Exhibit C (hereinafter referred to as "Lot 3");

Lot 1, Lot 2, and Lot 3 are hereinafter all collectively referred to as the "Property."

Western Center Properties, Inc. entered into a Parking and Access Agreement, dated September 24, 1997, that provided for reciprocal parking and ingress and egress easements with respect to Lot 1, Lot 2, and Lot 3 (hereinafter referred to as the "Parking and Access Agreement");

Owner, as the successor in interest to Western Center Properties, Inc., desires to amend the Parking and Access Agreement to change the parking ratio from 3.8 to 3.2 parking spaces per one thousand rentable square feet.

Recording Area

Name and Return Address: Mickey N. Conrad General Counsel T. Wall Properties P.O. Box 7700 Madison, WI 53707-7700

Parcel Identification Numbers (PIN)

0708-151-0375-6 0708-151-0345-2

FOR GOOD AND VALUABLE CONSIDERATION, the receipt and sufficiency of which are hereby acknowledged, the Parking and Access Agreement is amended as follows:

1. Section 4 of the Parking and Access Agreement is hereby replaced with the following:

"At no time shall the available parking ratio at the Property (including all of Lot 1, Lot 2, and Lot 3, as reflected in Exhibit E) be permitted to fall below a ratio of 3.2 parking spaces per one thousand rentable square feet."

2. This Agreement, and the burdens and benefits herein contained, shall run with the land and be binding upon and shall inure to the benefit of the Owner, and its respective successors and assigns.

3. Except as otherwise expressly provided in this Amendment, the terms and conditions of the Parking and Access Agreement are in full force and effect.

4. In the event of conflict between the provisions of this Amendment and the terms of the Parking and Access Agreement, the provisions of this Amendment will control.

IN WITNESS WHEREOF, this Amendment shall be effective as of the day and year first above written.

GREENWAY OFFICE CENTER L.L.C.

By: T. Wall Properties Master Corp., Its Manager

By: [Signature] John C. Mothe, Vice President Terrence R. Wall, [Signature]

7/13

ACKNOWLEDGMENT

STATE OF WISCONSIN)
DANE COUNTY) ss.

Terrence R Wall

Personally came before me this 18 ^{April} day of March 2007, the above named John D. Kothe, as Vice President of T. Wall Properties Master Corp., manager of Greenway Office Center L.L.C., to me known to be the person who executed the foregoing instrument.

Marilyn A. Mosigin
Marilyn A. Mosigin
Notary Public, State of Wisconsin
My commission: 7-14-08

*Print name of Notary Public

Drafted By:

Mickey N. Conrad.
T. Wall Properties
P.O. Box 7700
Madison, WI 53707-7700

CONSENT

The undersigned, as the mortgagee of the Property, hereby consents to the granting of the within Amendment to the Parking and Access Agreement and agrees that its lien is subject and subordinate to said Amendment.

Dated this ___ day of _____, 2007.

MORTGAGEE:

LASALLE BANK NATIONAL ASSOCIATION as trustee for the registered holders of J.P. Morgan Chase Commercial Mortgage Securities Trust 2006-CIBC15, Commercial Mortgage Pass-Through Certificates, Series 2006-CIBC15.

By: WELLS FARGO BANK, NATIONAL ASSOCIATION, as Master Servicer under the Pooling and Servicing Agreement, dated as of June 20, 2006 by and among J.P. Morgan Chase Commercial Mortgage Securities Corp., Wells Fargo Bank, National Association, J.E. Robert Company, Inc. and LaSalle Bank National Association.

By: Sarah J. Burns
Name: Sarah J. Burns
Title: Assistant Vice President

ACKNOWLEDGMENT

STATE OF CALIFORNIA)
COUNTY OF CONTRA COSTA) ss.

Personally came before me this 2ND day of MAY, 2007, the above named SARAH J. BURNS
as AVP of WELLS FARGO BANK, NA.
to me known to be the person who executed the foregoing instrument.



Noreen Sutterfield
*NOREEN SUTTERFIELD
Notary Public, CALIFORNIA County, CONTRA COSTA
My Commission: MAY 2, 2008

*Print name of Notary Public

APPROVAL

Approved this 18 day of April, 2007.

CITY OF MIDDLETON, WISCONSIN

By: Kurt J. Sonntag
Name: Kurt J. Sonntag
Title: Mayor

ACKNOWLEDGMENT

STATE OF WI)
COUNTY OF Dane) ss.

Personally came before me this 18 day of April, 2007, the above named Kurt Sonntag, as Mayor of City of Middleton, to me known to be the person who executed the foregoing instrument.

Marilyn A. Mosigin
Marilyn A. Mosigin
Notary Public, Dane County,
My Commission: 7-14-08

*Print name of Notary Public

EXHIBIT A
LOT 1

Part of Lot 4, Greenway Center Replat, being part of Lot 5, Greenway Center, located in the Northeast 1/4 of Section 15, Town 7 North, Range 8 East, City of Middleton, Dane County, Wisconsin, described as follows:

Beginning at a point of curve on the South right-of-way line of Greenway Boulevard being in the Northwest corner of said Lot 4; thence N 88°58'22" E 296.87 feet; thence S 09°10'17" W 90.48 feet; thence N 89°28'45" E 19.85 feet; thence S 00°31'15" E 251.01 feet; thence S 89°58'04" W 157.69 feet; thence N 43°23'54" W 145.23 feet; thence S 90°00'00" W 76.28 feet to the West right-of-way line of Deming Way; thence N 00°04'08" E 198.92 feet along said line; thence on a curve to the right with a radius of 30.00 feet, whose long chord bears N 44°31'15" E 42.05 feet to the Point of Beginning. Parcel contains 97,517 sq. ft. (2.239 acres).

EXHIBIT B
LOT 2

Part of Lot 4, Greenway Center Replat, being part of Lot 5, Greenway Center, located in the Northeast 1/4 of Section, Town 7 North, Range 8 East, City of Middleton, Dane County, Wisconsin described as follows:

Beginning at a point curve on the South right-of-way line of Greenway Boulevard being the Northeast corner of said Lot 4; thence on a curve to the right with a radius of 30.00 feet, whose long chord bears S 46°01'38" E 42.43 feet to the West right-of-way line of John Q Hammond Drive; thence S 01°01'38" E 334.35 feet; thence S 89°51'32" W 226.75 feet; thence N 01°08'06" W 19.85 feet; thence S 89°58'04" W 43.79 feet; thence N 00°31'15" W 251.01 feet; thence S 89°28'45" W 19.85 feet; thence N 09°10'17" E 90.48 feet to the South right-of-way of Greenway Boulevard; thence N 88°58'22" E 242.16 feet to the Point of Beginning. Parcel contains 87,532 sq. ft. (2.239 acres).

EXHIBIT C
LOT 3

Part of Lot 4, Greenway Center Replat, being part of Lot 5, Greenway Center, located in the Northeast 1/4 of Section 15, Town 7 North, Range 8 East, City of Middleton, Dane County Wisconsin, described as follows:

Beginning at a point of curve on the East right-of-way line of Deming Way 296.30 feet South along said right-of-way from the South right-of-way line of Greenway Boulevard; thence N 00°04'08" E 67.95 feet along said right-of-way; thence N 90°00'00" E 76.28 feet; thence S 43°23'54" E 145.93 feet; thence N 89°58'04" E 201.45 feet; thence S 01°08'06" E 19.85 feet; thence N 89°51'32" E 226.75 feet to the West right-of-way line of John Q Hammons Drive; thence S 01°01'00" E 280.87 feet along said right-of-way; thence on a curve to the right with a radius of 30.00 feet, whose long chord bears S 44°15'32" W 42.65 feet to the North right-of-way line of Holiday Avenue; thence S 89°34'42" W 353.33 feet along said right-of-way line; thence continuing along said right-of-way on a curve to the right with a radius of 287.00 feet, whose long chord bears N 76°05'10" W 142.12; thence N 61°45'02" W 150.10 feet along said right-of-way; thence on a curve to the right with a radius of 30.00 feet, whose long chord bears N 17°07'10" W 42.15 feet to the East right-of-way line of Deming Way; thence along said right-of-way on a curve to the left with a radius of 490.00 feet, whose long chord bears N 13°47'17" E 232.42 feet to the Point of Beginning. Parcel contains 210,894 sq. ft. (4.842 acres).

EXHIBIT E

(Form of Parking Easement Amendment)

**AMENDMENT TO PARKING AND ACCESS
AGREEMENT**

This Amendment to Parking and Access Agreement (this “**Amendment**”) is made and entered into as of _____, 2024, by and between AX Madison Greenway L.P., a Delaware limited partnership (“**Owner 1**”) and 8309 Greenway, LLC, a Wisconsin limited liability company (“**Owner 2**”).

RECITALS

- A. Owner 1 is the owner of the properties legally described in Exhibit A attached hereto and incorporated herein (“**Owner 1 Property**”).
- B. Owner 2 is the owner of the property legally described in Exhibit B attached hereto and incorporated herein (“**Owner 2 Property**”).
- C. Owner 1 and Owner 2 are parties to that certain Parking and Access Agreement recorded in Dane County, Wisconsin, Register of Deeds office as Document No. 2891858, as amended (the “**Original Easement**”), as it relates to Owner 1 Property and Owner 2 Property.
- D. Owner 1 and Owner 2 desire to amend and reaffirm the Original Easement as set forth herein.

Recording Area

Drafted By and Return To:
Nathan J. Wautier
Reinhart Boerner Van Deuren s.c.
22 E. Mifflin St., Ste. 700
Madison, WI 53703

PINs: See Exhibits

AGREEMENT

In consideration of the recitals and mutual agreements which follow, the parties agree as follows:

1. The Original Easement is hereby amended to delete the reference to Lot 2 in Sections 1 and 3. For the avoidance of doubt, Owner 1, its tenants and invitees, or any of its successors or assigns, shall not have the right to access and use the parking spaces, access roads and driveways on Owner 2 Property.

2. All other terms and conditions of the Original Easement not modified by this Amendment are hereby ratified and shall remain in full force and effect.

[SIGNATURE PAGES FOLLOW]

IN WITNESS WHEREOF, the parties execute the foregoing Amendment as of the date and year first above written.

OWNER 1:

OWNER 2

AX MADISON GREENWAY, L.P.

8309 Greenway, LLC

By: AX Madison Greenway, LLC, its General Partner

By: _____
Steve W. Doran, Manager

By: _____
Name: _____
Title: _____

ACKNOWLEDGMENT

STATE OF _____)
) SS.
COUNTY OF _____)

Personally came before me this ___ day of _____, 2024, the above-named Steve W. Doran, Manager of 8309 Greenway, LLC to me known to be the persons who executed the foregoing instrument in such capacity and acknowledged the same.

Name: _____
Notary Public, _____
My Commission: _____

DOMAIN OF CANADA)
) SS.
PROVINCE OF MANITOBA)

Personally came before me this ___ day of _____, 2024, the above-named _____, _____ of AX Madison Greenway, LLC, acting in its capacity as General Partner of AX Madison Greenway, L.P., to me known to be the person who executed the foregoing instrument in such capacity and acknowledged the same.

Name: _____
Notary Public, _____
My Commission: _____

CONSENT OF CITY

The undersigned does hereby consent to all of the terms and conditions of the foregoing Amendment.

Dated this ___ day of _____, 2024.

City of Middleton

By: _____

Name: _____

Title: _____

STATE OF _____)
) ss.
COUNTY OF _____)

Personally came before me this ___ day of _____, 2024, the _____ of City of Middleton, who acknowledged the foregoing document for the purposes recited therein on behalf of the same.

Name: _____

Notary Public, State of _____

My Commission: _____



FUTURE LAND USE MAP, REZONING, AND CONCEPT REVIEW FOR REDEVELOPMENT (INCLUDES VERN'S AUTO BODY)

PLAN COMMISSION STAFF REPORT CITY OF MIDDLETON, WI

Report Date: March 8, 2024 **File:** PC-2644
Request: Comprehensive Plan Future Land Use Map Amendment, Rezoning, and
Concept Review for Redevelopment (includes Vern's Auto Body)
Project Location: 7617 - 7621 Terrace Avenue
Prepared by: Abby Attoun, Director of Planning & Community Development
aattoun@cityofmiddleton.us 608.821.8343

Applicant: Anne Neujahr Morrison
New Year Investments
Email: anne@newyearinvestments.com

Owner: Unaddressed property south of 7621 Terrace Avenue and west of 1726
Aurora Street requires rezoning
Dennis Midthun (under contract with New Year Investments)

7617 Terrace Avenue – requires FLU map amendment and rezoning
Joe Marriner & Danielle Croegaert (under contract with New Year
Investments)

7621 Terrace Avenue – permissive zoning in place
New Terrace Avenue LLC (on behalf of the applicants)

Project Context: To the north: 1 story stone office building
To the east: single-family home
To the south: single-family home / Quarry Park (steep grade change)
To the west: Quarry Park

OVERVIEW

Applicant is proposing a multi-family redevelopment project that includes the Vern's Auto Body shop, which [has been in the City's Tax Increment District \(TID\) #3 Project Plan](#) since 1993. City staff have worked with two other recent applicants for this site, but those projects have not moved forward due to financing constraints and other complications. This property is in tax increment financing (TIF) district #3, which is winding down and cannot provide much benefit to a project due to its impending closure in 2030, however City TIF staff has met with the applicant and there are extraordinary costs associated with this redevelopment project. This is a complicated

redevelopment site in an area which the City considers an extension of our Downtown District ([Comprehensive Plan, ED9B](#)). The applicant is proposing to incorporate two single-family lots (one is vacant and one includes a single-family home) into their development project.



COMPREHENSIVE PLAN

The Marriner Site is Established Neighborhood in the Comprehensive Plan Future Land Use (FLU) map, which would require an amendment to the Comprehensive Plan in order to rezone the property to MU-D (Mixed-Use Downtown).

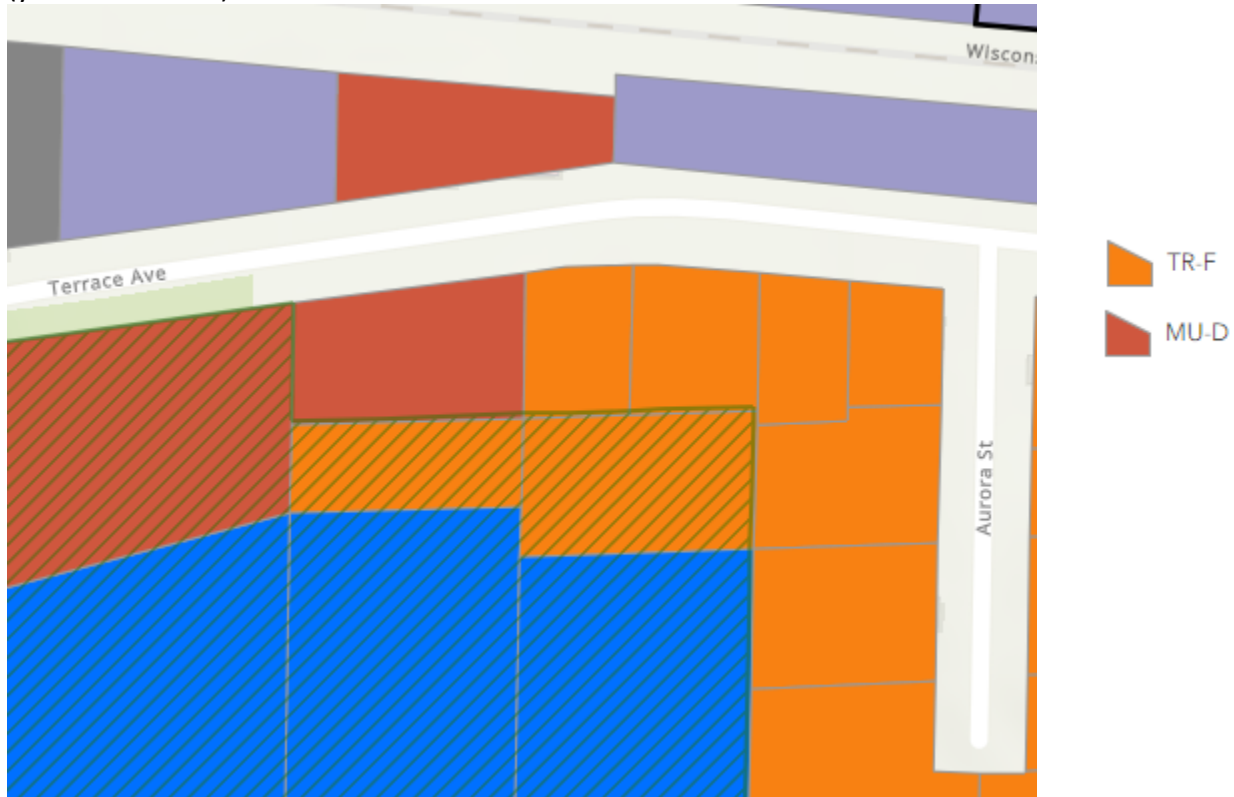
Established Neighborhood: For already developed neighborhoods in the city, preservation of urban neighborhood scale and character while providing a variety of housing options to meet the needs of a diverse population; building types could include single-family dwellings, accessory dwelling units (ADUs), 2-3 family homes, and, where appropriate, single-family attached townhomes/condos and small-scale multifamily by conditional use.

Downtown Mixed Use: pedestrian-oriented retail, service, office, institutional, and residential uses in a “downtown” setting with on-street parking and minimal to no building setbacks, with building heights from 2- 5 stories.

ZONING MAP

Both the Marriner Site and the Midthun Site are zoned TR-F: Two-Family Residential – Flat. The applicant is requesting a rezoning to MU-D. Planning & Community Development staff had originally shown the south side of Terrace Avenue (between N. High Point Road and Parmenter Street) as MU-D, but based on a conversation with a resident and upon further contemplation,

staff recommended these properties be modified to TR-F because some of the properties are historic or older buildings. This was discussed at [the Middleton Plan Commission meeting on 12/12/23](#) (1:47:35) and the Commission concurred. The Marriner house is not an older building (year built: 1980).



CONCEPT REVIEW

New Year Investments has submitted a concept for review by the Plan Commission. The concept includes a 5-story building with one level of underground parking and a partial level of enclosed parking at grade. The applicant along with Alder Schaffer (District 1) held a neighborhood meeting on 02/27/24. Daphne Xu, Associate Planner, provided the following notes from the meeting:

Presentation:

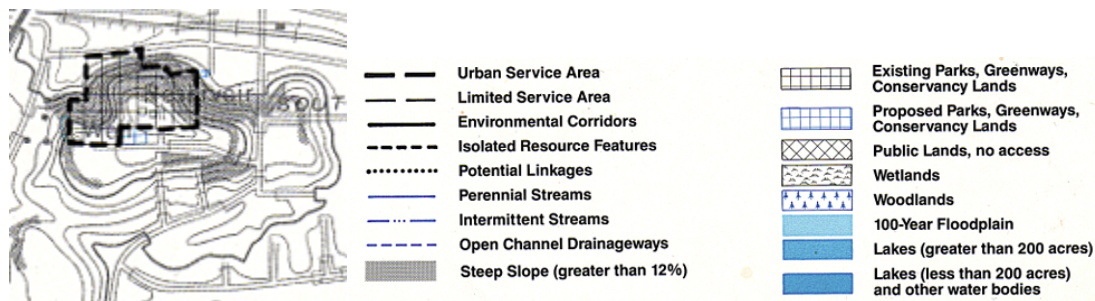
- Project will be self-managed with Urban Land Interests
- Previous projects, Ella, 1722 Monroe St, Quarter Row in the Yards
- Have never developed a greenfield site development
- Side setback next to single-family home is about 35-40ft, 25ft from the rear lot line, 15ft from the City parking lot
- Corner units have their own walk-up entrances (2 units)
- 5th floor steps back 15ft
- 1:1 parking, also 1 floor underground parking
- Excavation will likely be through blasting
- Approximately 70 units

Comments:

- Concerned about parking along Terrace
- Concerned with the erosion behind the skate park – how far back and how many trees are affected?
- Significant concern with the blasting and the potential damages caused by vibrations
- Concerned with speeding along Terrace with preschool and skateboarders nearby
- Concerned with the development of the third, undeveloped site
- Neighbors were interested in the driveway coming off of the City parking lot to cut down on the driveways intersecting on Terrace
- Neighbors were interested in grocery store downtown, but parking would be very tight
- Neighbors asked about if the project could be constrained just on the Vern’s site – it would not be feasible for New Year Investments
- Neighbors asked about affordability of the units – this site will not be affordable (LIHTC)
- Concerned about traffic
- Neighbors would be interested in the City painting curbs yellow to allow for people to get out of their driveways
- Neighbors expressed concern that this project will become the catalyst of change along the street, concerned about the preservation of the other homes along Terrace.
- Neighbors asked if parking is included into the rent – if it is not included, concerned with people parking on the street

The Midthun site (undeveloped site south of Vern’s up the slope) is mapped by CARPC as Environmental Corridor (EC). Staff reached out to Melissa Michaud, Environmental Resources Planner, to get their thoughts on the environmental mapping of this site.

Melissa shared that the environmental corridor at this property was mapped as part of the original environmental corridor delineation for the Central Urban Service Area (CUSA). This parcel was originally mapped for steep slopes plus existing parks, greenways, and conservancy lands (see screenshots below). Melissa speculates that Quarry Park/Quarry Hill Conservancy Area/Hillcrest Park was originally larger but that lots were split off and sold to private landowners since the 1980's.



Melissa further states that there are no environmentally sensitive areas mapped within this property. Per the policies and criteria that were adopted in 2008, CARPC currently maps steep wooded slopes (12% gradient and higher in the glaciated portions of the county) that are within 75

feet of the ordinary high water mark of water bodies or from the top of each bank. This wouldn't apply to the slopes at this property (no wetlands or waterbodies). Melissa said that if the City supports this project, CARPC would make adjustments to the EC mapping here as a minor change to remove the private lots or areas that are not within the current park boundaries.

Along with a submission for site design review, the applicant should provide more information on rock removal, tree removal, and whether it would be feasible to incorporate a 15’ stepback the top floor on the east side of the building by internalizing the eastern stairwell to enhance compatibility with the adjacent single-family homes at 7615 Terrace and 1726 Aurora. If this property is rezoned to MU-D, this project will be required to meet the MU-D standards and the Downtown Overlay Zoning District requirements (see Section 10.07.50 Special Areas (1)) and the requirements of Chapter 26 (Stormwater Runoff Control) and Chapter 33 (Outdoor Lighting Code). The City may require a traffic impact analysis (T.I.A.). This project will require a certified survey map (CSM) to combine the three parcels.

RECOMMENDATION

Agenda Item #1 (Comprehensive Plan, FLU map amendment):

Recommend approval of the FLU map change by resolution #2024-10, enclosed in the packet.

Agenda item #2 (Rezoning request):

Discussion of the rezoning application and comments from the public hearing. Any recommendation to rezone the parcel at 7617 Terrace Avenue must be contingent on Council’s approval of the FLU map change to that parcel.

Agenda item #3 (Concept Review):

Feedback to the applicant. Referral of the concept to the Middleton Community Development Authority (CDA) for consideration of allowing the underground parking access from the adjacent CDA-owned parking lot.

RESOLUTION 2024-10

Plan Commission Resolution to Amend the Comprehensive Plan for the City of Middleton

Whereas, the City of Middleton Comprehensive Plan 2023 was adopted by the Common Council on November 21, 2023, and

Whereas, the Comprehensive Plan contains the City’s Future Land Use (FLU) Map, which is Middleton’s preference for how public and private lands should be used within the community, and

Whereas, the Plan Commission supports additional housing within the Downtown Middleton area to support the business uses on other properties within Downtown Middleton, and

Whereas, the Plan Commission recommends a change to the FLU map affecting 7617 Terrace Avenue to change the FLU map designation from Established Neighborhood to Downtown Mixed Use, and

Whereas, Downtown Mixed Use is defined as pedestrian-oriented retail, service, office, institutional, and residential uses in a “downtown” setting with on-street parking and minimal to no building setbacks, with building heights from 2-5 stories, and

NOW THEREFORE BE IT RESOLVED that the Plan Commission of the City of Middleton and Mayor Kuhn hereby support, and recommend the Common Council approve Amendment #1 to the City of Middleton Comprehensive Plan 2023 to modify the future land use (FLU) map designation for 7617 Terrace Avenue.

This resolution was adopted at a regular meeting of the Middleton Plan Commission on the 12th day of March 2024.



ATTEST:

Emily Kuhn, Mayor

Lorie J. Burns, City Clerk



PLAN COMMISSION APPLICATION

CITY OF MIDDLETON • 7426 HUBBARD AVE. • MIDDLETON, WI. 53562 • (608) 821-8370 • FAX (608) 827-1080

Plan Commission usually meets the 2nd and 4th Tuesdays of each month at 7 p.m. in the Council Chambers of Middleton City Hall. The following **must be submitted at least FOUR weeks** prior to any Plan Commission meeting for staff review and agenda placement. Failure to submit a complete package may result in the return of all items, a resubmittal fee, and a delay of your project. Larger and more complex projects will require additional review time, and staff will be in contact regarding the agenda and timeline.

1. Plan Commission Application & Checklist (this packet).
2. Required (nonrefundable) fee(s) **and deposit (see chart below)**.
3. One (1) electronic copy of the submittal emailed to planning@cityofmiddleton.us. The plan set must include streetscape and site landscape plans.

Project Address/Name: 7617 -7621 Terrace Avenue, Middleton WI 53562

Applicant: New Year Investments		
Address: 1021 South Park Street, Suite A, Madison, WI 53715		
Phone: 608.285.5029	Fax:	Email: anne@newyearinvestments.com

Owner: New Terrace Avenue, LLC		
Address: 1021 S Park Street, Suite A, Madison, WI 53715		
Phone:	Fax:	Email: office@newyearinvestments.com

Project Description: The Applicant is submitting an application for Concept Review for a proposed multifamily development at 7617-7621 Terrace Avenue and including the vacant parcel to the south of 7621

Terrace Avenue

Owner/Applicant Signature: Date: 2/27/24

- Applicants must check with the Building Inspection Dept. to determine if any permits are required.

Note: - City ordinances are on the City website at <https://www.cityofmiddleton.us/115/City-Code-of-Ordinances>

Fees (check what applies):		Deposit
	Certified Survey Map (+GIS fees)	\$400 + \$55/lot
X	Concept Review	\$50
	Conditional Use Permit	\$500
	Design Review	\$200
	Design Review Revisions	\$50
	Final Plat (+GIS fees)	\$900 + \$80/lot
	Preliminary Plat	\$400 + \$50/acre
	Rezoning	\$500-\$2,000**
	Sign Design Review	\$50
	Sign Variance	\$500
	SIP/SIP Modification*	\$50-\$500**
	Future Land Use Map Amendment	\$200
* Specific Implementation Plan in Planned Development District = \$500. Minor Modification = \$300, SIP Major Modification = \$500, SIP Modification (revision) = \$50 ** Fee based on cost of project. For Rezoning s: single lot or project = \$500, larger projects and PDD rezoning requests = \$2,000		An Escrow Deposit of \$5,000 is required per Ord. 10.128(2) to cover project review costs by outside consultants when necessary. See attached excerpt from City Ordinances. Waiver authorized: <input type="checkbox"/> _____ date _____ TRAFFIC IMPACT ANALYSIS Required Yes <input type="checkbox"/> No <input type="checkbox"/>



1021 SOUTH PARK STREET
MADISON, WI 53715

February 27, 2024

Abby Attoun
Director of Planning and Community Development
City of Middleton
7426 Hubbard Avenue
Middleton, Wisconsin 53562

Re: Concept Review for new Multifamily Development at 7617-7621 Terrace Avenue

Dear Abby:

We want to thank you and your team for your continued feedback as our team plans for the redevelopment of the former Vern's property. Attached you will find our materials for concept review at the March 12, 2024 Plan Commission meeting.

New Year Investments is a woman-owned development company that is proud of its work to produce award-winning infill developments on underutilized downtown sites. The former Vern's Autobody building and parking lot at 7621 Terrace Avenue, along with the parcel to the south, are vacant. The adjacent 1980s era ranch house at 7617 Terrace Avenue is being sold. The combined downtown site provides a unique window of opportunity for our team to make a positive contribution to our built environment and add needed housing and vitality in the downtown Middleton area.

The City of Middleton and its surrounding communities are experiencing unprecedented demand for housing. The proposed development aims to transform the current site and complement the surrounding area by providing high-quality housing near locally owned businesses and public infrastructure. The development will include one- and two-bedroom apartment homes for approximately 70 households in a 5-story building, with one level of underground parking, and a partial level of enclosed parking at-grade. Resident amenities will include a fitness room, community room, parcel room, electric vehicle charging and bike facilities. There is no proposed retail space in the building because it is the expectation that households choosing this location will be supporters of the existing downtown businesses.

The overall design direction of the building is meant to evoke a classic apartment building while still creating a modern and new feeling. Influenced by a more historical approach we wanted to avoid a "warehouse" building and instead create a more decorated brick building that would reflect a residential use. We are incorporating use of glazed brick to bring color to the building reflecting the more varied colors and textures of the residential neighborhood. Large windows are contemplated to ensure a good quality of light inside the apartments and are arranged in an alternating mirrored pattern to keep the façade from becoming repetitive. The corners of the



building stand out with cast stone details to make them slightly more distinct while the center portion of the building uses the same cast stone to frame areas of windows and Juliette balconies.

In our preliminary design, special attention has been paid to the pedestrian level experience and the relationship with the neighborhood to the east. We have included a large landscape buffer between the project and residences to the east—under Mixed-Use Downtown Zoning, no side yard setback is required, however we are proposing more than 35' of landscaping to buffer the proposed building from its nearest neighbor to the east. At the pedestrian level, we were able to incorporate two ground floor residences with walk up entries to activate the streetscape, particularly at the corners.

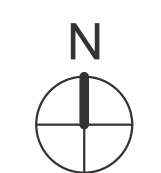
We look forward to feedback from staff and the commission and thank you for your consideration.

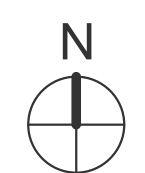
Kind regards,

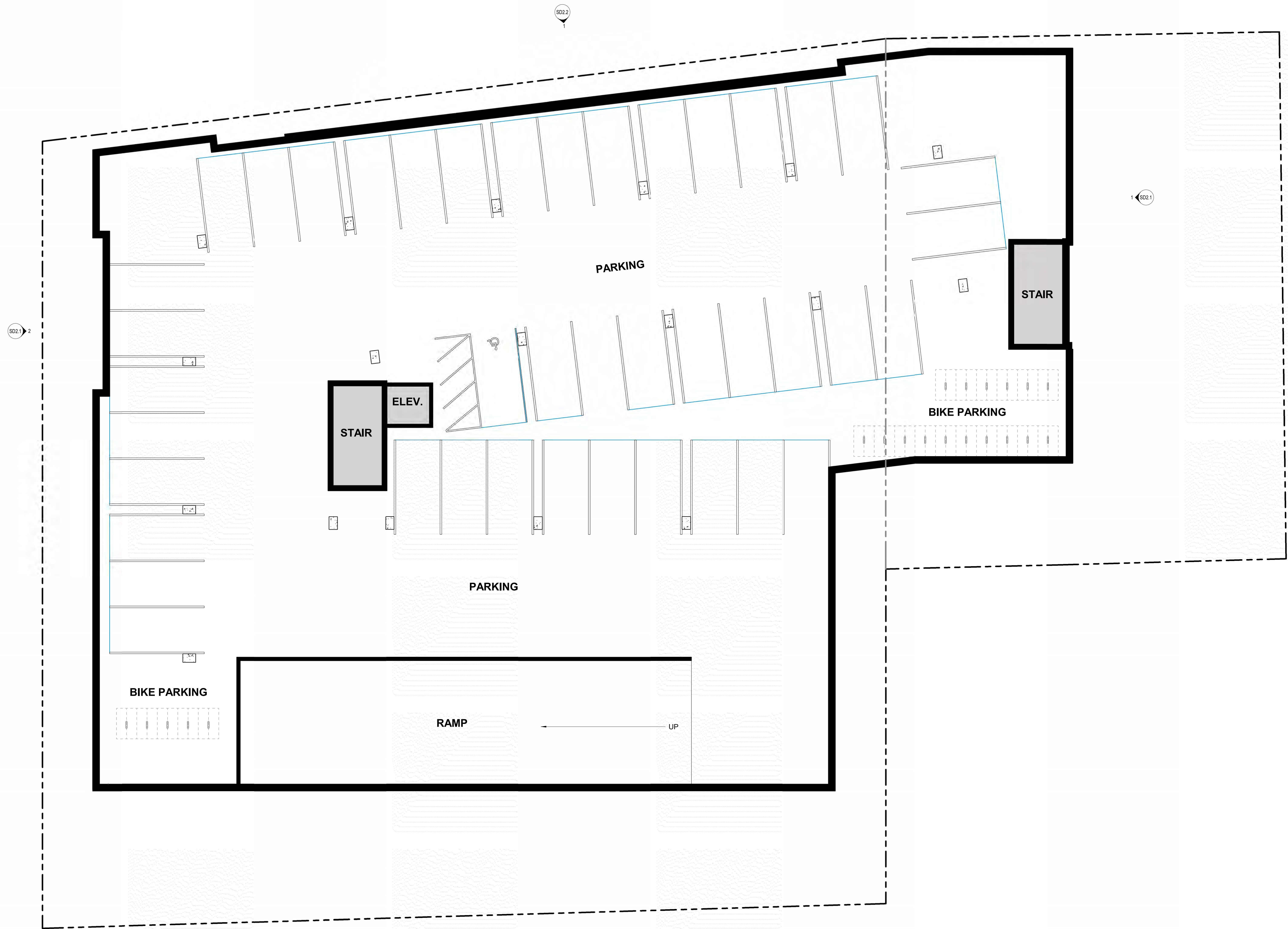
Anne Neujahr Morrison
Principal
608.285.2004
anne@newyearinvestments.com



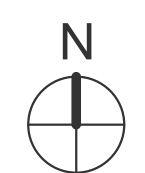
Existing Site Plan
Terrace Ave Apartments - 2024.01.00
February 27th, 2024

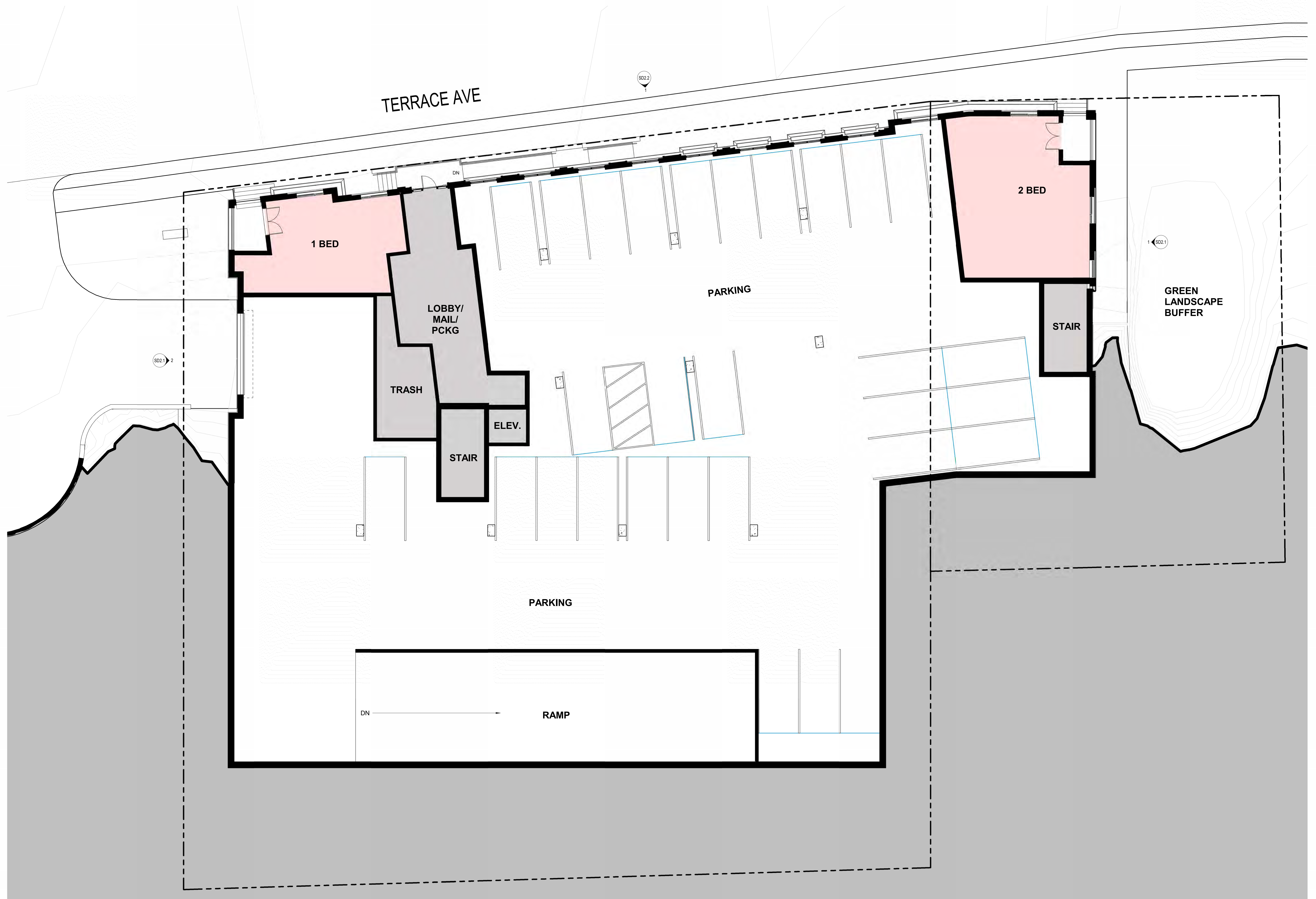




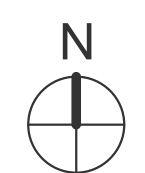


Parking Level Plan
 Terrace Ave Apartments - 2024.01.00
 February 27th, 2024



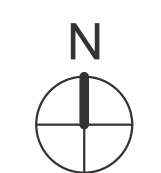


First Floor Plan
Terrace Ave Apartments - 2024.01.00
 February 27th, 2024



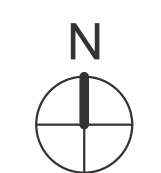


Second Floor Plan
 Terrace Ave Apartments - 2024.01.00
 February 27th, 2024



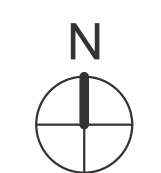


Third Floor Plan
 Terrace Ave Apartments - 2024.01.00
 February 27th, 2024



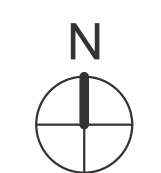


Fourth Floor Plan
 Terrace Ave Apartments - 2024.01.00
 February 27th, 2024





Fifth Floor Plan
 Terrace Ave Apartments - 2024.01.00
 February 27th, 2024





East Elevation

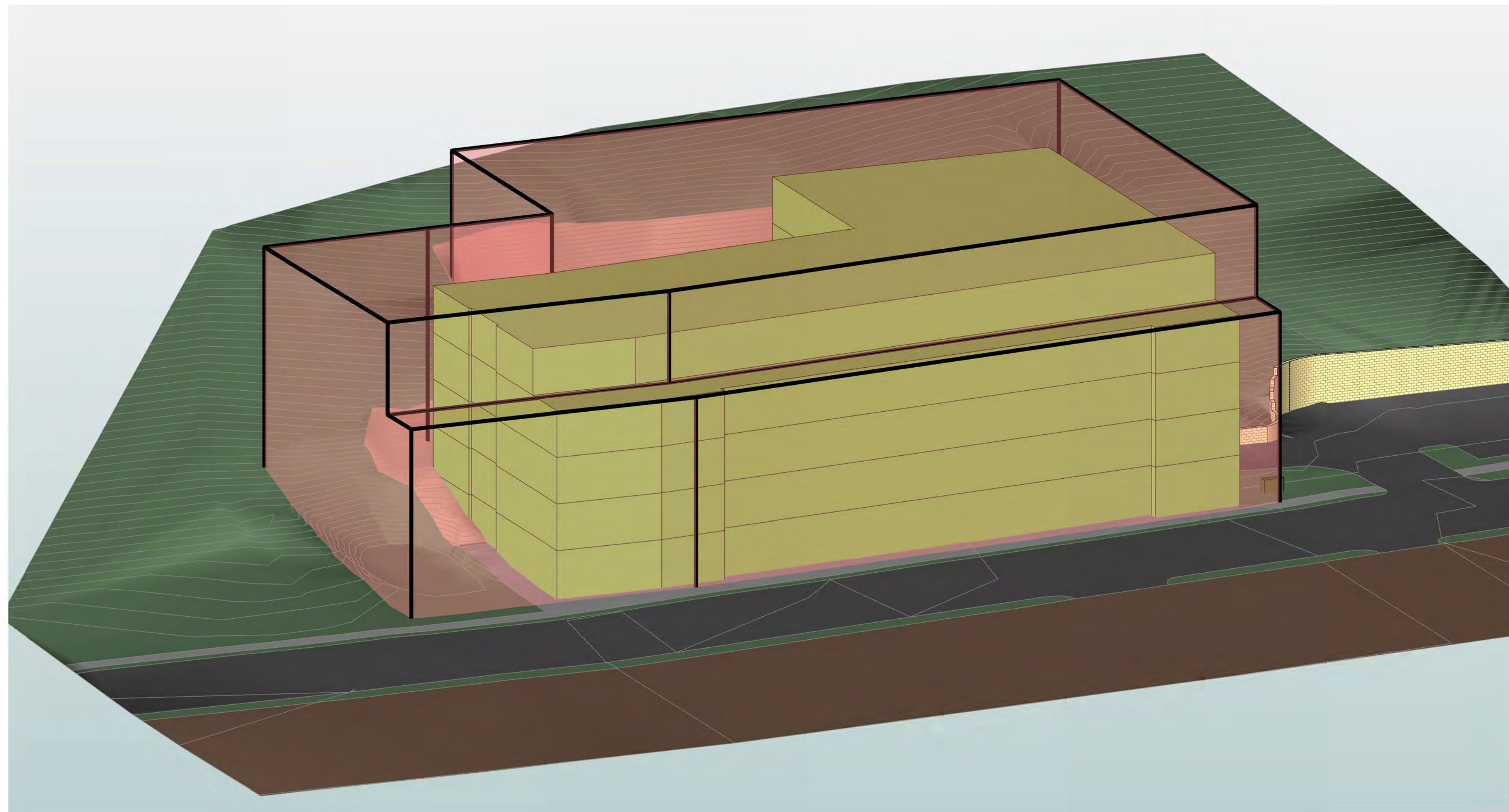


West Elevation

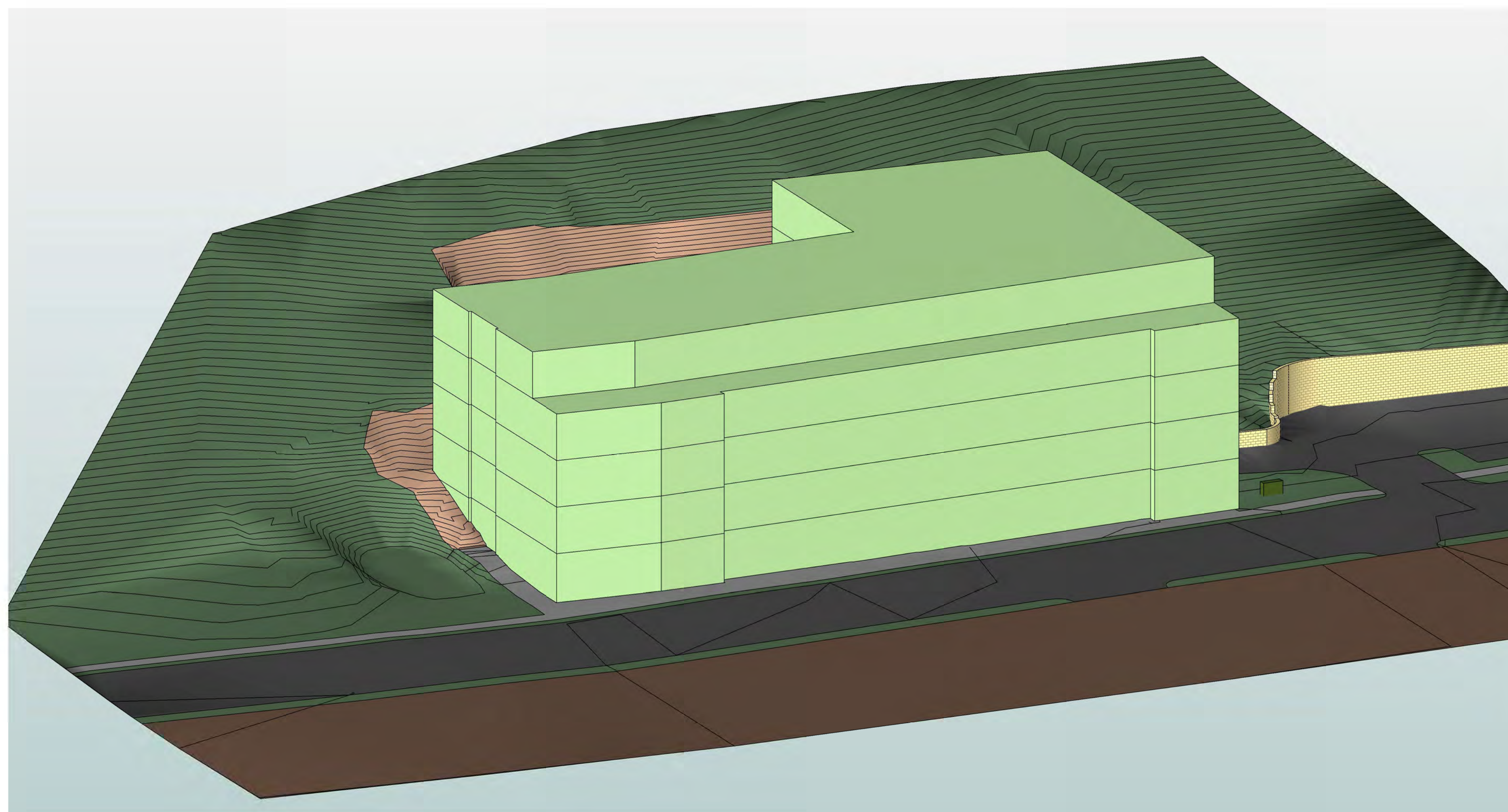
East and West Elevations
 Terrace Ave Apartments - 2024.01.00
 February 27th, 2024



North Elevation
Terrace Ave Apartments - 2024.01.00
February 27th, 2024



MAXIMUM



PROPOSED



Perspectives
Terrace Ave Apartments - 2024.01.00
February 27th, 2024



CASTLE ROCK REDEVELOPMENT SPECIFIC IMPLEMENTATION PLAN

PLANNING STAFF REPORT

Date: March 8, 2024 **File:** PC-2647

Project Location: 6418 University Avenue; 2009 Lakeview Ave.

Applicant: Gary Brink & Associates **Prop. Owner:** Ripple Management
2248 Deming Way #120 tdripple@hotmail.com 608.219.1212
Middleton, WI
Contact: Jeff Brenkus jeff.brenkus@garybrink.com 608.695.3674

Requests: Approval of Specific Implementation Plan

Prepared by: Mark Opitz, City Planner mopitz@cityofmiddleton.us 608.821.8394
Daphne Xu, Associate Planner dxu@cityofmiddleton.us 608.821.8377

SUMMARY

The applicant plans to demolish a two-story multi-family building (consisting of 25 units) and one single family (SF) residence and replace them with a five-story building consisting of 90 units and 90 parking stalls (45 underground, 45 surface). Based on staff's review of the various components of the SIP (which were submitted by the developer in stages), it appears that the SIP is reasonably consistent with the GIP. Furthermore, the SIP adhere to most design guidelines identified in the University Avenue Corridor Plan.

PLANNING STAFF CONCLUSION AND RECOMMENDATION

Based on our analysis of the updated submittal and review / knowledge of the previously approved General Implementation Plan and pertinent city plans and ordinances, Planning staff have concluded that the SIP submittal is reasonably consistent with the approved GIP. \

Suggested Plan Commission Motion:

Recommend that the Common Council approve the Specific Implementation Plan with the following contingencies:

- City approval of a certified survey map combining the lots encompassing Phase 1.
- Completion and city engineer acceptance of the traffic impact analysis (based on the scope of services provided by the City's consultant) and the developer addressing to the satisfaction of the city engineer any findings of the TIA prior to issuance of any zoning or building permits.
- Provision of one indoor bicycle parking space per dwelling unit and nine guest parking spaces, with the design adhering to the standards in Section 10.06.06(7)(i) of the zoning ordinance.
- City engineer approval of the stormwater management plan
- Approval of the access and site layout by public safety (Fire/EMS/Police).
- The developer shall not establish any regulations prohibiting the use of any renewable energy system or technology, nor any regulations prohibiting community gardens / urban agriculture.
- Future approval of signage details as a minor SIP modification.
- Resolution of all engineering staff comments and recommendations as indicated in the plan set returned to the developer.

BACKGROUND

Project Context: The application involves four parcels of land encompassing approximately 1.19 acres on the northeast corner of University Avenue’s intersection with Lakeview Ave. (The thinner orange line illustrates the original project boundary. The second lot in from University Avenue is now incorporated into the project.)

- To the North: Apartment buildings ranging in size from six to 16 units, one of which is three stories in height; there is also one small single-family residence abutting the property.
- To the East: Single-family residences that are part of the Heim Woods subdivision
- To the South: Low-rise office buildings; Middleton Commons Apartments (2-story building) to the southwest
- To the West: A former gas station; the property continues to be used as an auto service center (the fuel tanks have been removed; fuel sales may not continue at this location in the future due to proximity to a City well).



Streetview Images (Google)



Figure 1 View from Northwest / Lakeview Ave showing and single-family residence. (July 2011)

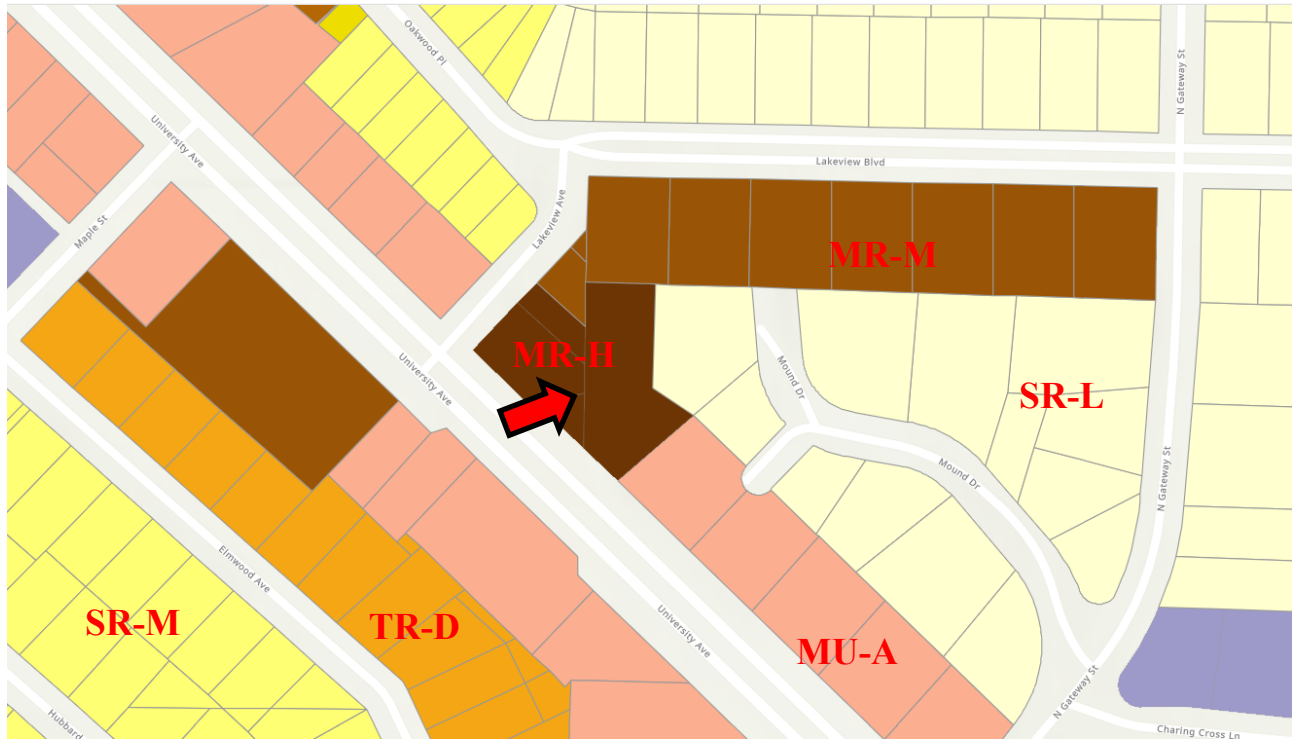


Figure 2 View from Southwest (November 2021)

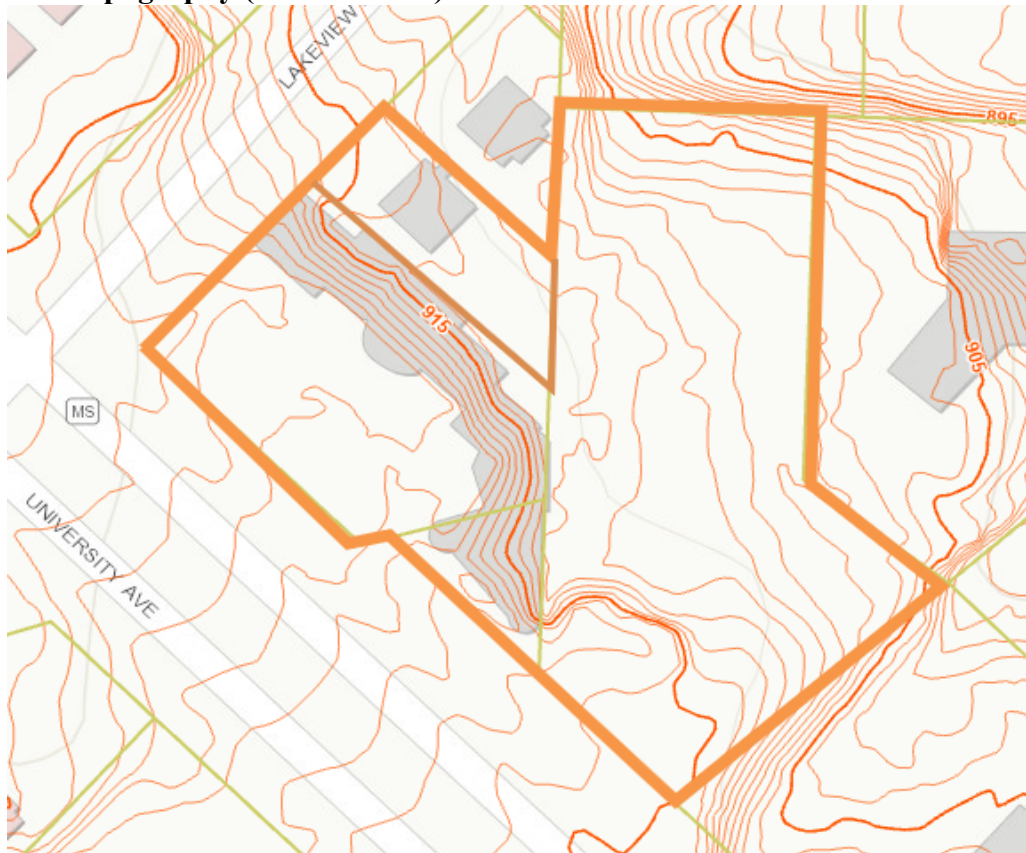


Figure 3 View from Southeast (August 2022)

Current Zoning Map



Site Topography (1 ft. contours)



PLANNING STAFF ANALYSIS

On August 1, 2023, the Council approved the General Implementation Plan pertaining to the four parcels with the contingencies listed in the table below. No public hearing is required at the SIP stage of the PDD zoning process.

Comparison between the GIP and this SIP			
Category	GIP	SIP	Notes
# of dwelling units	90	90	
Density	75.63 du/acre	75.63 du/acre	
Building height	5 stories, 53' 4"	5 stories, 53' 4"	
Impervious surface	73.91%	73.99%	
Parking spaces	90	90	The SIP submittal indicates 91 spaces, but there appear to be only 90.
Surface	45	45	
Underground	45	45	
Bike Parking	20	18	

CONTINGENCY OF GIP APPROVAL	STATUS
1. The City’s Future Land Use Map is amended so that the parcel at 2009 Lakeview Ave. is designated as Avenue Mixed Use.	Completed.
2. City approval of a certified survey map (CSM) to combine the four parcels into one, with the CSM indicating dedication of land or easements necessary to accommodate a 10 ft. wide path along the north side of University Ave.	Undergoing engineering staff review, so this should be a contingency of SIP approval. ¹ The existing sidewalk is about 13 ft from the front lot line along University Ave. To accommodate the easement for the future paved path, the applicant intends to work with WisDOT (which owns the right-of-way) to even out the parcel so that it does not jog along University.
3. Completion of a small-site traffic impact analysis (at the developer’s expense) and the developer addressing to the satisfaction of the city engineer any recommendations identified by the TIA.	The city’s TIA consultant has provided the city engineer with a scope of services for this project. City staff are comfortable with this remaining a contingency of SIP approval.
4. Approval of the access and site layout by public safety (Fire/EMS/Police).	Pending.

¹ Although the developer included a CSM as part of the SIP submittal, it has not yet been reviewed by engineering staff because it was not submitted as a separate application.

<p>5. City engineer approval of a comprehensive stormwater management plan for the entire development.</p>	<p>Details submitted on 1/8/24 and 2/20/24. The assistant city engineer believes that the developer’s plan should work, so there should not be a need for any developer payment of fees-in-lieu-of-infiltration.</p>
<p>6. The developer shall not establish any regulations prohibiting the use of any renewable energy system or technology, nor any regulations prohibiting community gardens / urban agriculture.</p>	<p>Keep as SIP condition of approval.</p>
<p>7. Submittal of a Specific Implementation Plan for the property within five years after the approval of the ordinance rezoning the property to PDD-GIP. No building shall be permitted until approval of the SIP for the property and issuance of valid building permits.</p>	<p>Completed.</p>
<p>8. The Plan Commission will determine the appropriate park fees at the SIP phase.</p>	<p>Staff will calculate these fees, and the developer needs to pay these fees prior to issuance of any building permits.</p>
<p>9. Applicant will support City assigning the Multi-Family High Density (MR-H) zoning classification (or its equivalent) at the time the City adopts its new zoning map.</p>	<p>MR-H zoning is depicted on the newly adopted zoning map. This zoning classification allows buildings without a commercial component to be located at a corner.</p>
<p>10. Resolution of all city staff recommendations as indicated on the plan set submitted by the developer on 6/23/23.</p>	<p>Any outstanding recommendations are being addressed as part of review and approval of the SIP.</p>

Building Design

- Pertinent details can be found on Sheets A-02, A-08, C100.
- Property Line Setbacks:
 - Front (University Ave.) varies from 5 to 15 ft.
 - Left side (Lakeview Ave.): 20 ft.
 - Right side: 35 ft.
 - Rear: 23 ft.
- Building Height: 5 stories; 53 ft. 4 in. to roof plane. The GIP identified a height of 53 ft. The new zoning ordinance would require the building to incorporate stepbacks into its design because it adjoins single- or two-family zoning districts (land uses), but that provision is not applicable in this situation given the timing of the submittal.
- Façade Length: 232 feet. The City’s new zoning ordinance caps length at 250 ft.

The following are design guidelines of the city’s [University Avenue Corridor Plan](#) that directly pertain to this site:

- Front Yard setback from the edge of the street: 25-50 ft (p. 47 of the University Ave Corridor Plan)

- The building will be approximately 15 ft setback from the front lot line, and the lot line is approximately 25 ft from the edge of street, providing a total of 40 ft of setback from the street edge.
- Side and rear parking is encouraged, front yard parking limited to no more than one single-loaded parking aisle, no more than 50% of the building face (p. 100). Consolidate and eliminate access points as a way to lessen rear-end collisions (p. 60), and discourage parking spaces at entrance and exit points to prevent conflicts with turning vehicles (p. 61).
 - The rear parking with entrance off of Lakeview avenue supports the first portion of the parking standards, but the two-car parking area shown in front of the building off of University Ave is incompatible with the second half of the recommendation.
- Walkways provided from the building entrance to the public sidewalk (p. 100).
 - This recommendation is shown in the plans
- Bicycle parking of 1 per dwelling unit (p. 100).
 - Only 18 bicycle parking stalls are shown in the plans while the building has 90 units.
- Buildings taller than 3 stories directly adjacent to single-family properties must be stepped back from the single-family properties (p. 101).
 - The building is oriented towards University Ave and away from the single-family homes along Mound Dr and Lakeview Ave. The top floor also provides a stepped back roof terrace area along the portion that is closer to the single-family home to the rear of the building.
- Building entrance should face University Ave (p. 101).
 - Entrance faces University Ave in the plans.
- Buildings should establish vertical proportions for the street façade. All new buildings should utilize details or changes in materials to create a discernible base, middle, and top (p. 102).
 - Materials and façade seem to provide articulation that creates verticality and a discernible base, middle, and top.
- Leave room for converting the sidewalk to a 10 ft. wide multi-use path (p. 42)
 - The owners plan to even out the jog in property lines along University Ave, leaving approximately 12 ft from the sidewalk to the front lot line for the 10 ft wide multi-use path.

Transportation, Parking

The primary staff concern with the SIP submittal is the University Avenue driveway and very small parking lot at the southeast corner of the building. It is important that drivers who enter the driveway have a reasonable opportunity to turn their vehicle around so that they don't back out onto the street. The City's traffic impact analysis consultant will review the developer's plan (as revised based on feedback from engineering staff) and may recommend eliminating this access point—however, the driveway is understandably important to the developer so as to accommodate visitors and deliveries at the main building entrance, which appropriately faces University Avenue. Planning staff support retaining the driveway as long as there is sufficient space for vehicles to turn around. The driveway would serve as the access point for a Phase 2 building if it proceeds in the future, but the design put in place today needs to anticipate that Phase 2 does not proceed.

Planning staff also note that the plans do not provide a sufficient number of bicycle parking spaces. Because the SIP was submitted prior to the new zoning ordinance going into effect, we would support only requiring one parking space per dwelling unit, regardless of the number of bedrooms,

as well as parking for guests (one rack per 10 dwelling units). However, we are recommending that the bicycle parking spaces adhere to the bicycle design standards adopted in the new code.

The project anticipates the potential future construction of a 10 ft. wide shared use path along the north side of University Avenue. The existing sidewalk is about 13 ft from the front lot line along University Ave. The applicant is looking to attain a portion of right-of-way from WisDOT to even out the parcel so that it does not jog along University. The 10 ft path easement would then be allowed on the excess DOT ROW.

Stormwater, Landscaping, Lighting, and Other Details

- **Stormwater Management:** Public Works staff report that there have been some issues with runoff affecting adjoining property to the east/northeast. The primary stormwater management area is on the east end of the property, a logical location given site topography and the opportunity to provide a buffer with adjoining residences. The final component of the stormwater management plan, including soils data, was submitted on February 20 and remains under review. Engineering staff returned comments to the developer's engineer this week.
- **Landscaping:** As indicated in the LOI, the project intends to preserve and maintain the perimeter vegetation and tree canopies present on the site. Aligning the building along University Avenue helps maintain open space toward the northern leg of the site, thereby providing more of a buffer with adjoining residences along Lakeview Blvd. Utilizing the new landscaping requirement, the project provides 2,549 total points – 2,099 of which are native plantings. The project only needs 1,743 points.
- **Lighting:** There are two lights, labeled OA5 on the plans which have a maximum of 4,801 lumens, which exceed the 4,000 lumens we have established for MR-H district. These lights are full cutoff and do not spill over to the single-family homes next door. The five freestanding lights are also all mounted at 16 ft with a 2 ft base. The maximum fixture mounting height is 12 ft in the MR-H district. Since this is still a Planned Development District, staff recommend approval of the lighting even though it does not perfectly comply with the lighting ordinance because the overall light output remains within the allowed levels.
- **Signage:** There were no signs submitted with the SIP. Any signage will require a SIP minor modification approval in the future.



PLAN COMMISSION APPLICATION

CITY OF MIDDLETON • 7426 HUBBARD AVE. • MIDDLETON, WI. 53562 • (608) 821-8370 • FAX (608) 827-1080

Plan Commission usually meets the 2nd and 4th Tuesdays of each month at 7 p.m. in the Council Chambers of Middleton City Hall. The following **must be submitted at least FOUR weeks** prior to any Plan Commission meeting for staff review and agenda placement. Failure to submit a complete package may result in the return of all items, a resubmittal fee, and a delay of your project. Larger and more complex projects will require additional review time, and staff will be in contact regarding the agenda and timeline.

1. Plan Commission Application & Checklist (this packet).
2. Required (nonrefundable) fee(s) **and deposit (see chart below)**.
3. One (1) electronic copy of the submittal emailed to planning@cityofmiddleton.us. The plan set must include streetscape and site landscape plans.

Project Address/Name: 6418 University Avenue / 2009 Lakeview Avenue

Applicant: Gary Brink & Associates, Inc. (GBA architecture design)		
Address: 2248 Deming Way, Suite 120 Middleton, WI 53562		
Phone: 608-695-3674	Fax:	Email: jeff.brenkus@garybrink.com

Owner: Ripple Management		
Address: 3801 Regent Street Madison, WI 53705		
Phone: 608-219-1212	Fax:	Email: tdripple@hotmail.com

Project Description: The proposed development includes the demolition of the existing buildings & the construction of a new five-story multi-family building consisting of 90 units and 90 parking stalls.

Owner/Applicant Signature: *Jeffrey J Brenkus* Date: 12/12/2023

- Note:**
- City ordinances are on the City website at <https://www.cityofmiddleton.us/115/City-Code-of-Ordinances>
 - Applicants must check with the Building Inspection Dept. to determine if any permits are required.

Fees (check what applies):	
Certified Survey Map (+GIS fees)	\$400 + \$55/lot
Concept Review	\$50
Conditional Use Permit	\$500
Design Review	\$200
Design Review Revisions	\$50
Final Plat (+GIS fees)	\$900 + \$80/lot
Preliminary Plat	\$400 + \$50/acre
Rezoning	\$500-\$2,000**
Sign Design Review	\$50
Sign Variance	\$500
<input checked="" type="checkbox"/> SIP/SIP Modification*	\$50-\$500**
Future Land Use Map Amendment	\$200

* Specific Implementation Plan in Planned Development District = \$500. Minor Modification = \$300, SIP Major Modification = \$500, SIP Modification (revision) = \$50
 ** Fee based on cost of project. **For Rezoning**s: single lot or project = \$500, larger projects and PDD rezoning requests = \$2,000

Deposit
An Escrow Deposit of \$5,000 is required per Ord. 10.128(2) to cover project review costs by outside consultants when necessary. See attached excerpt from City Ordinances.
Waiver authorized: <input type="checkbox"/> _____ date _____
TRAFFIC IMPACT ANALYSIS Required Yes <input type="checkbox"/> No <input type="checkbox"/>
PC 2647 PD CC 12-14-2023

CITY OF MIDDLETON ESCROW DEPOSIT, GIS FEE, & STORMWATER MANAGEMENT FINANCIAL GUARANTEE

Section 10.128(2) **Escrow Deposits** of the City of Middleton Code of Ordinances is hereby created to read as follows:

(a) In addition to the fees specified in sub (1), applicants for all **Rezoning, Conditional Use Permits, Design Review and Specific Implementation Plan Modifications** shall be responsible to pay the actual cost of review of the application by outside consultants hired by the City including but not limited to, Federal, State or County Departments and Madison Metropolitan Sewerage District, Attorneys, Engineers or Planners. Upon application, the applicant **shall deposit \$5,000** to be held in escrow upon which the City shall draw to pay for said costs as they are incurred during the course of reviewing the application. Itemized statements reflecting the amounts drawn from the deposit shall be sent to the applicant each month. In the event that the escrow deposit has been drawn down to twenty-five percent (25%) of the required amount, the applicant shall replenish the escrow deposit to its original amount. If any funds remain in the escrow deposit following final determination of the application, such remaining funds shall be returned to the applicant within sixty (60) days of the determination together with an accounting of the deposits and draws on the escrow.

(b) Applicants may obtain a pre-application waiver of the required escrow deposit from the City Administrator if in the City Administrator’s sole discretion he/she determines that no consultant review will be required. Said waiver shall not preclude the City Administrator from employing an outside consultant, charging the costs of any consultant review to the applicant or requiring an escrow deposit at any time after application.

Similar language pertaining to **Land Divisions** appears in Section 19.04(7)(c).

THIS DEPOSIT WILL BE DUE ONE WEEK PRIOR TO THE PLAN COMMISSION MEETING WHERE THIS ITEM WILL BE DISCUSSED, UNLESS THE DEPOSIT HAS BEEN WAIVED BY THE CITY ADMINISTRATOR OR HIS DESIGNEE. IF A WAIVER IS GRANTED, THE APPLICANT WILL BE NOTIFIED BEFORE THE SUBMITTAL DEADLINE. FAILURE TO PAY THIS DEPOSIT MAY RESULT IN THE RETURN OF ALL ITEMS, A RESUBMITTAL FEE, AND A DELAY OF YOUR PROJECT.

Fee Schedule under Section 3.12 relating to Fees for Updating of Geographical Information System (GIS) Records

Procedure for Dividing Land 19.04(7)(b)	Fees to defray administrative expenses - GIS and records update, Plats	\$500 + \$30/lot
Procedure for Dividing Land 19.04(7)(b)	Fees to defray administrative expenses - GIS and records update, CSM	\$200 + \$30/lot
Procedure for Dividing Land 19.04(7)(b)	Fees to defray administrative expenses - GIS and records update, Public Improvements	\$0.75 x total pipe length (i.e., total footage of all public Pipes + private storm Water conveyances)

Section 26.10(6) – **Warranty and Financial Guarantee** of the City of Middleton Code of Ordinances requires the submittal of financial guarantee in every instance where the estimated cost of stormwater practices exceeds \$5,000. The financial guarantee must be provided prior to stormwater management permit approval. The amount of the Installation Financial Guarantee shall be determined by the City Engineer and shall not exceed the total estimated construction costs of the approved storm water management practices, plus 25%.

CITY OF MIDDLETON PLAN SUBMITTAL CHECKLIST

Project Name: Castle Rock Apartments	Builder/Developer: Ripple Management
Project Address: 6418 University Avenue / 2009 Lakeview Avenue	Phone: 608-219-1212

Note: Include on the plan sheets each applicable item listed below with all formal plan submittals. All spaces should be checked, or marked "N/A" if the item does not apply. Please submit this checklist with your application. **Staff will reject any application they deem incomplete.**

- ✓ 1. Show the planned improvements in the context of the surrounding properties and include existing buildings and driveways on **all** adjoining properties.
- ✓ 2. Show existing and proposed contours at an interval (minimum 1') suitable to the topography and project. Contours should extend a minimum of 20' beyond property lines and nearby berms and swales and at least to the backs of curbs.
- ✓ 3. Show square footage (area) of:
 - ✓ a. Lot or parcel
 - ✓ b. Existing impervious surface
 - ✓ c. Proposed total impervious (existing plus current proposal)
 - ✓ d. Existing building
 - ✓ e. Proposed total building (existing plus current proposal)
 - ✓ f. Existing parking and pavement
 - ✓ g. Proposed total parking and pavement (existing plus current proposal)
- ✓ 4. Show all relevant dimensions including:
 - ✓ a. Buildings
 - ✓ b. Setbacks to buildings and other improvements.
 - ✓ c. Parking stalls
 - ✓ d. Driveway widths
 - ✓ e. Parking lot aisles, turnarounds, turning radii, etc.
 - ✓ f. Distance from driveway to street corner if less than 200'
 - ✓ g. Sidewalk, walkway and handicap ramp widths and locations with respect to street and right-of-way
 - ✓ h. Widths of abutting R.O.W.'s, roadways, and terraces.
- ✓ 5. Show dimensions and bearings of property lines.
- ✓ 6. Show North Arrow and scale of drawing.
- ✓ 7. Show site elevations to NAVD '88 vertical datum. Survey catalogued city benchmarks in the area of the site and adjust to NAVD '88.
- ✓ 8. Label all existing and proposed surface materials (grass, bituminous, concrete, etc.)
- ✓ 9. Show total number of required and proposed parking stalls.
- ✓ 10. Show handicap parking stall and ramp locations.
- ✓ 11. Show up or down arrows on loading or other ramps.

- ✓ 12. Show existing, proposed, & adjoining driveway approaches.
- ✓ 13. Show removal and replacement to City Specifications of concrete curb and gutter for all new curb cuts or as otherwise required.
- ✓ 14. Show rim and invert elevations of all drainage structures.
- N/A 15. Show location and screening of refuse and recycling containers.
- N/A 16. Design surface drainage to bypass refuse and recycling containers.
- ✓ 17. Indicate proposed direction of roof drainage and show on grading plan the location of all roof gutter downspouts.
- ✓ 18. Show all existing and proposed public and private utility locations on and adjacent to site.
- ✓ 19. Show location of nearest existing City of Middleton fire hydrants and proposed City and private fire hydrants.
- ✓ 20. Show proposed lighting for site including location, pole height, luminaire type and manufacturer's specifications.
- ✓ 21. Provide drawings of proposed building with elevation views showing proposed materials and colors.
- ✓ 22. Include elevation view of rooftop mechanicals and required screening design, materials, and colors.
- N/A 23. Include statement of historical landmark designation status.
- ✓ 24. Include name of designer, P.E. stamp and signature on final plans.
- ✓ 25. Include Erosion Control Plan. Include note on plan stating: "Additional erosion control measures will be installed as needed."
- ✓ 26. Include Landscape Plan. See separate checklist for landscape plan requirements.

Staff Contacts		
Abby Attoun, AICP	Mark Opitz	Daphne Xu, AICP
Planning & Community Development Director	City Planner Zoning Administrator	Associate Planner
(608) 821-8343	(608) 821-8394	(608) 821-8377
Email: attoun@cityofmiddleton.us	Email: mopitz@cityofmiddleton.us	Email: dxu@cityofmiddleton.us
Planning & Community Development Department Phone: (608) 821-8370 Email: planning@cityofmiddleton.us		

LANDSCAPE PLAN SUBMITTAL CHECKLIST

Note: Please include each applicable item listed below with all formal plan submittals. All spaces should be checked or marked "N/A" if the item does not apply.

- ✓ 1. Show existing and proposed contours at an interval (minimum 1') suitable to the topography and project. Contours should extend a minimum of 20' beyond property lines and nearby berms and swales at least to the backs of curbs

- ✓ 2. Show number of required:
 - ✓ a. Parking stalls
 - ✓ b. Landscaping points and size of landscaping elements
 - ✓ c. Additional canopy trees

- ✓ 3. Show total number of provided:
 - ✓ a. Parking stalls
 - ✓ b. Landscaping points and size of landscaping elements
 - ✓ c. Additional canopy trees

- ✓ 4. Show North Arrow and scale of drawing.

- ✓ 5. Include name of designer on final plans.

- ✓ 6. Show existing/proposed hydrants, sanitary laterals, water services, light poles, power poles, and other significant topographic features in landscaped areas.

- ✓ 7. Show all relevant dimensions.

STAFF APPROVAL FORM FOR BUILDING PERMIT APPLICATIONS

Project Name:	Builder/Developer:
Project Address:	Phone: PC #

Applicants for a building permit who require Plan Commission approval must obtain the following staff approvals prior to obtaining a building permit.
Staff available at (608) 821-8370, unless otherwise noted.

PLANNING – Abby Attoun / Mark Opitz / Daphne Xu	Comments:
Date Approved: / / PC Approval: / /	
For Plans Received: / /	
Park Dedication Fee: \$ _____	
Park Improvement Fee: \$ _____	
ENGINEERING – Shawn Stauske/Erik Sorensen/Rich Weihert	Comments:
Plan received: / / APPROVED	
<input type="checkbox"/> Site Plan: / /	
<input type="checkbox"/> Erosion Control & Storm Water Permits: / /	
<input type="checkbox"/> Storm Water Maint Agreement: / /	
<input type="checkbox"/> CSM: / /	
<input type="checkbox"/> City/Developer Agreement / /	
<input type="checkbox"/> Storm Water fee: \$ _____	
<input type="checkbox"/> GIS Fee: \$ _____	\$0.75 x _____ total pipe length (total footage of all public pipes + private storm water pipes)
UTILITIES / PUBLIC WORKS – Mike Meier	Comments:
Date Approved: / /	
For Plans Received: / /	
MMSD Fee: \$ _____	
FIRE INSPECTION/EMS (827-1090) Matt Reigel	Comments:
Date Approved: / /	
For Plans Received: / /	
FORESTRY – Mark Wegner (821-8345)	Comments:
Date Approved: / /	
For Plans Received: / /	

December 12, 2023

Abby Attoun - Director of Planning and Community Development
 City of Middleton
 7426 Hubbard Avenue
 Middleton, Wisconsin 53562

Re: Letter of Intent – Specific Implementation Plan (SIP)
 6418 University Avenue / 2009 Lakeview Avenue
 (northeast corner of Lakeview Ave. intersection)
 Middleton, WI 53562

Ms. Abby Attoun,

The following is submitted together with the plans and application for the staff and Plan Commission consideration.

Organizational Structure:

<p>Owner / Developer: Ripple Management 3801 Regent Street Madison, WI 53705 Phone: (608) 219-1212 Principal Contact: Tom Ripple Secondary Contact: Julio Martinez Email: tdripple@hotmail.com</p>	<p>Architect: Gary Brink & Associates 2248 Deming Way, Suite 120 Middleton, WI 53562 Phone: (608) 695-3674 Principal Contact: Jeff Brenkus Secondary Contact: James Moser Email: jeff.brenkus@garybrink.com</p>
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Introduction:

The project scope for this application includes the sites located at 6418-6414 University Avenue and 2009 Lakeview Avenue as part of the Rezoning from R-3A (High Density Residential) to Planned Development District-General Implementation Plan (PDD-GIP) - Castle Rock Redevelopment (PC-2647) as approved by Common Council on August 15th, 2023.

Project Description:

The project will provide much-needed housing along the major corridor connecting Middleton to Madison. A mix of studio, one-bedroom, one-bedroom + dens, and two-bedroom units will be provided to accommodate a variety of housing needs. The project plans to take advantage of generous setbacks from University Avenue providing significant green space surrounding the perimeter of the site. A rooftop solar power system is being considered. Also, considering the site topography, we intend to leave enough green space to be able to adhere to the City’s stringent on-site stormwater management standards.

The proposed building will be aligned parallel to University Avenue and set approximately 40 feet back from the curb line of the roadway which is consistent to other comparable recently approved front setbacks from the front lot lines. The existing site currently has two (2) curb cuts along University Avenue and one (1) curb cut along Lakeview Avenue. We intend to vacate the western curb cut on University and utilize the eastern curb cut for accessing a small parking area to serve parcel delivery, pick-up/drop-off, visitor parking, and leasing activities. The site’s access to main parking areas will take advantage of the sloping topography down 2009 Lakeview Avenue, providing access for surface parking, underground parking, and refuse collection. The design includes a rooftop trellis and patio on the northeast end of the top floor and creates a building setback / stepdown to reduce scale to the adjacent neighbors. Attractive landscaping with planters and wrought iron type fencing along University Avenue will create a pleasing visual experience. Designed balconies will add character and pleasant visuals to the University Avenue elevation.

Project Process:

The project concept was initially presented to the Plan Commission on February 28, 2023, for Concept Review. There were many suggestions from the hearing and the planning report that were incorporated into the project plan. In addition, a Neighborhood Meeting was held on May 23, 2023, with area/surrounding residents. We received a range of comments and suggestions that have been considered and many have been integrated into the proposed design. There have been continued communications, correspondence and meetings with City Staff to discuss the merits of the project and obtain additional Staff feedback which has also been considered and into the proposed design.

The project was submitted for GIP to the Plan Commission on July 25th, 2023, and recommended for approval to Common Council where the Council approved the “second reading” of the rezoning ordinance on August 15.

Plan Commission / Common Council Recommendations and Response:

- The City’s Future Land Use Map is amended so that the parcel at 2009 Lakeview Ave. is designated as Avenue Mixed Use.
Response: The developer takes no exception to the City’s FLU Map designation to the parcel noted above
- City approval of a certified survey map (CSM) to combine the four parcels into one, with the CSM indicating dedication of land or easements necessary to accommodate a 10 ft. wide path along the north side of University Ave.
Response: The submitted SIP documentation shall include a CSM for all four parcels and shall dedicate the land directly to the south along University Avenue as a future 10ft wide bike path
- Completion of a small-site traffic impact analysis (at the developer’s expense) and the developer addressing to the satisfaction of the city engineer any recommendations identified by the TIA.
Response: It is believed that a TIA will not be required but will defer to the City Engineer for recommendation
- Approval of the access and site layout by public safety (Fire/EMS/Police).
Response: The design team will work with Fire/EMS/Police for site access.
- City engineer approval of a comprehensive stormwater management plan for the entire development.
Response: The submitted SIP documents show a comprehensive stormwater management plan.
- The developer shall not establish any regulations prohibiting the use of any renewable energy system or technology, nor any regulations prohibiting community gardens / urban agriculture.
Response: Acknowledged.
- Submittal of a Specific Implementation Plan for the property within five years after the approval of the ordinance rezoning the property to PDD-GIP. No building shall be permitted until approval of the SIP for the property and issuance of valid building permits.
Response: The submitted SIP documents resolve this comment.
- The Plan Commission will determine the appropriate park fees at the SIP phase.
Response: Understood.
- Applicant will support the City assigning the Multi-Family High Density (MR-H) zoning classification (or its equivalent) at the time the City adopts its new zoning map.
Response: The developer takes no exception to the City assigning Multi-Family High Density (MR-H) zoning classification to this site, collectively.
- Resolution of all city staff recommendations as indicated on the plan set submitted by the developer on 6/23/23
Response: The Design Team and Developer explored a “mixed-use” component to the first floor per planning staff request and after review, the site context, parameters, and infeasibility were determined would not be a viable or desirable option.

Stormwater Management plan was not submitted until Jan. 8 and has not been reviewed. Soil investigations have not yet been performed and will need to be prior to any stormwater approvals.

Modifications since GIP:

- We have increased the number of parking stalls from 90 stalls to 93 stalls.
- Adjusted / Increased the overall square footage of the building by approximately 2,000sf but maintained the overall footprint and layout of the building.
- Added Proposed Signage
- Enhanced lower-level north elevation and updated the lighter exterior finish palette to masonry per design comments from Commissioner Bruce

Site Development Data:

Existing Data:

Existing Dwelling Units:	25 units apartment building + 1 residential home
Existing Building Coverage:	Approximately 5,300 sf / 790 sf, respectively
Existing Lot Area:	51,654 sf / 1.19 acres
Existing Parking:	Approximately 25 Vehicle Stalls

Density:

Existing Lot Area:	51,654 sf / 1.19 acres
Proposed Dwelling Units:	90 D.U.
Lot Area / Proposed D.U.:	574 sf / D.U.
Density:	76 units / acre
Building Coverage:	16,473 sf

Proposed Building Height:

5 Stories / 52'-10"
(Measured from corner of University / Lakeview Avenue)

Dwelling Unit Mix:

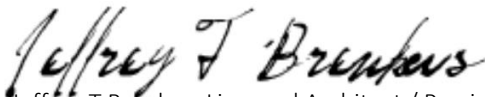
Studio (512 sf average):	25 Units
One Bedroom (630 sf average):	42 Units
One Bedroom+Den (873 sf avg.):	9 Units
Two Bedroom (955sf average):	14 Units

Vehicle Parking:

Required Parking:	90 vehicle stalls (1 stall / D.U.)
Underground Garage:	45 vehicle stalls
Northern Surface Lot:	40 vehicle stalls
Southeast Parking at Univ Ave.:	5 vehicle stalls
Total Parking Provided:	90 vehicle stalls

Thank you for your time to review and consider our proposal.

Respectfully submitted,



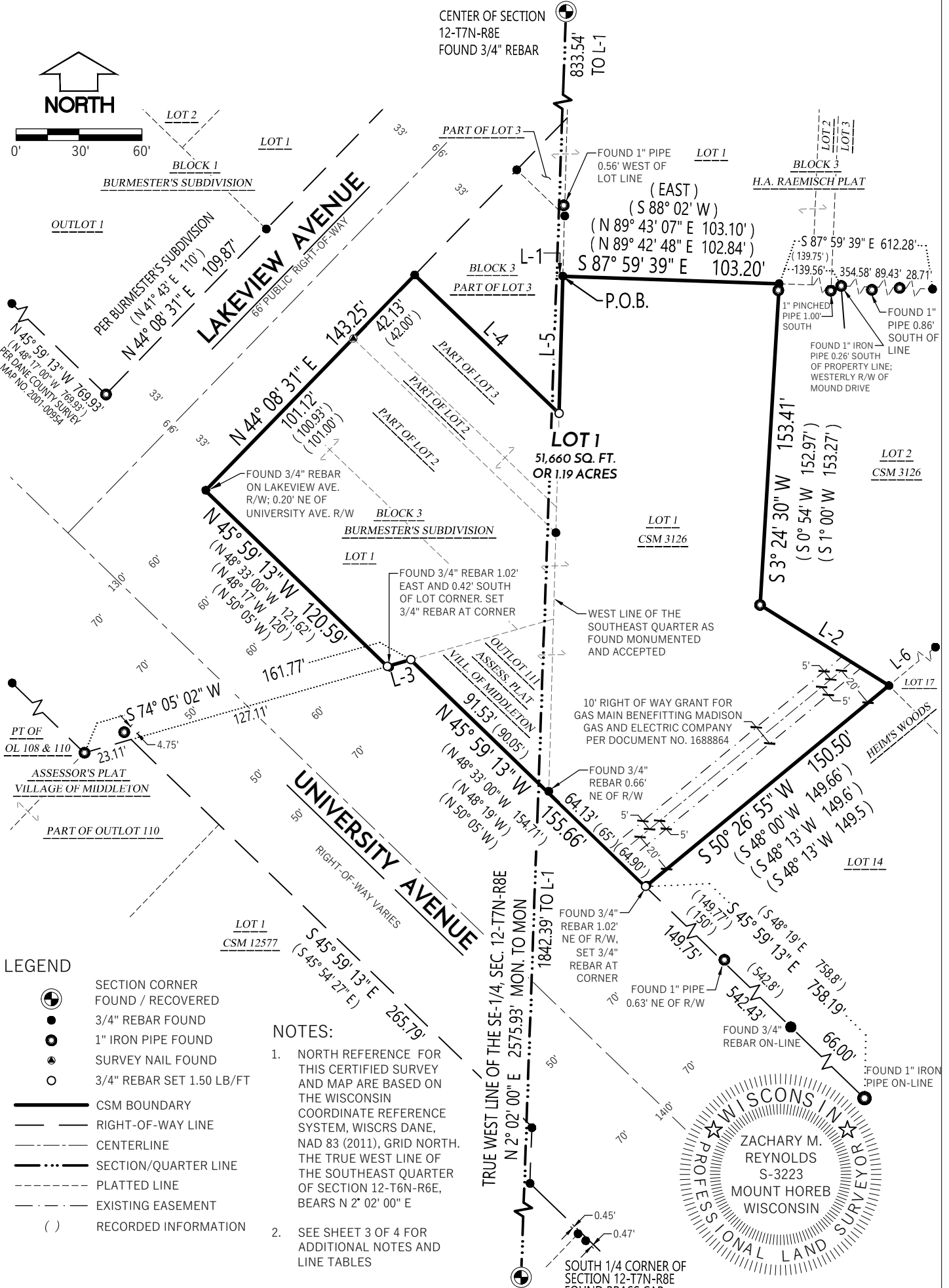
Jeffrey T Brenkus, Licensed Architect / President
GBA | Architecture / Design

CSM should be submitted separately for independent review.
 Assume it's included here just as a reference exhibit.

Suppress printing of Autocad SHX Text boxes -- that only present visual clutter, and increase file size.

CERTIFIED SURVEY MAP NO. _____

A CONSOLIDATION OF ALL OF LOTS 1 AND 2, AND A PART OF LOT 3, BLOCK 3, BURMESTER'S SUBDIVISION, RECORDED IN VOLUME 10 OF PLATS ON PAGE 20 AS DOCUMENT NO. 647325, OUTLOT 111 OF ASSESSOR'S PLAT, VILLAGE OF MIDDLETON, RECORDED IN VOLUME 8 OF PLATS ON PAGE 27 AS DOCUMENT NO. 571577, AND LOT 1 OF CERTIFIED SURVEY MAP NO. 3126, RECORDED IN VOLUME 12 OF CERTIFIED SURVEYS ON PAGES 165-166 AS DOCUMENT NO. 1613602), LOCATED IN THE NE1/4 OF THE SW1/4, AND THE NW1/4 OF THE SE1/4 OF SECTION 12, TOWNSHIP 7 NORTH, RANGE 8 EAST, ALL IN THE CITY OF MIDDLETON, DANE COUNTY, WISCONSIN

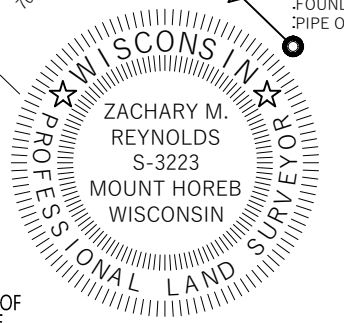


LEGEND

- SECTION CORNER FOUND / RECOVERED
- 3/4" REBAR FOUND
- 1" IRON PIPE FOUND
- SURVEY NAIL FOUND
- 3/4" REBAR SET 1.50 LB/FT
- CSM BOUNDARY
- RIGHT-OF-WAY LINE
- CENTERLINE
- SECTION/QUARTER LINE
- PLATTED LINE
- EXISTING EASEMENT
- RECORDED INFORMATION

NOTES:

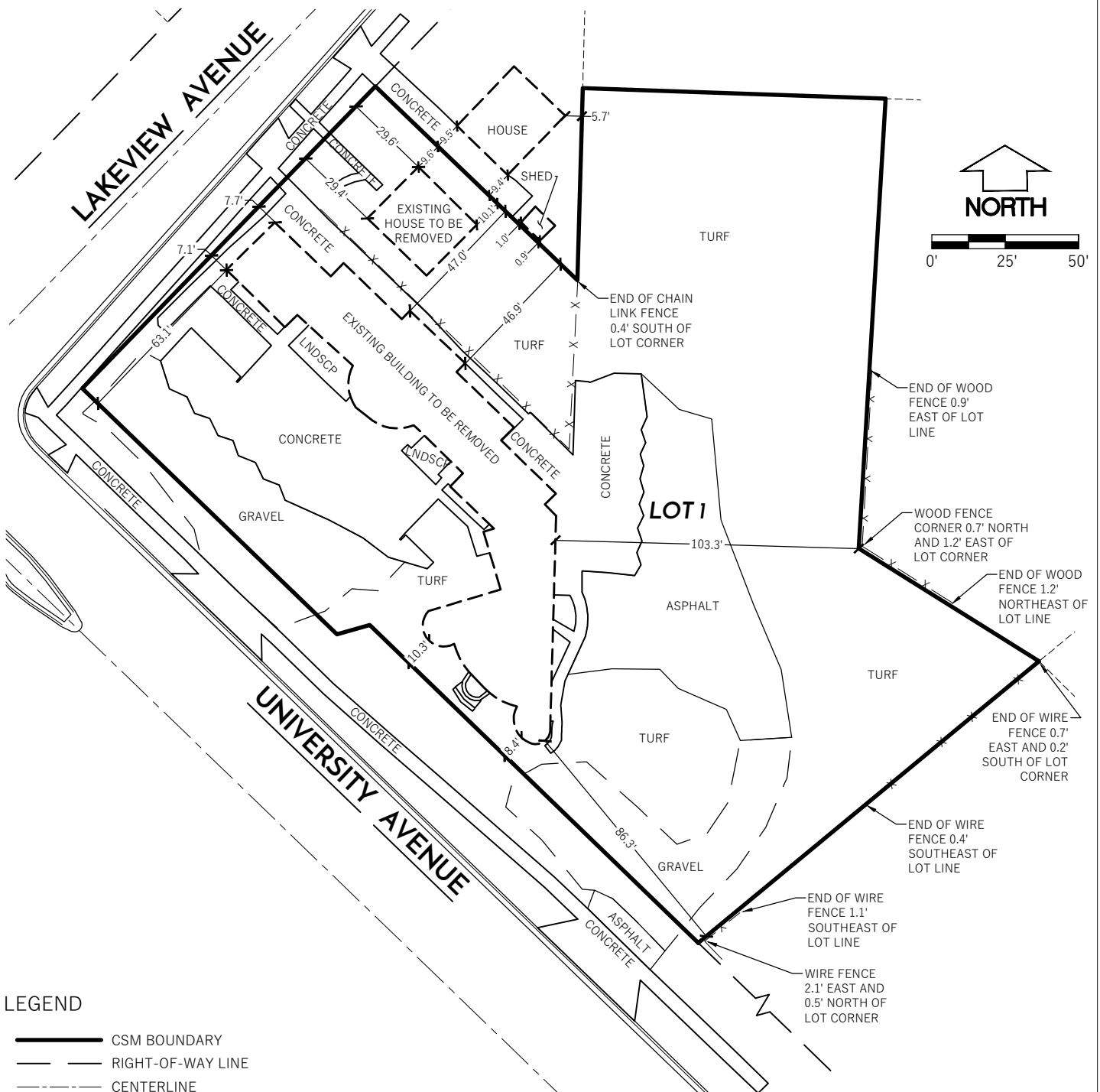
- NORTH REFERENCE FOR THIS CERTIFIED SURVEY AND MAP ARE BASED ON THE WISCONSIN COORDINATE REFERENCE SYSTEM, WISCRS DANE, NAD 83 (2011), GRID NORTH. THE TRUE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 12-T6N-R6E, BEARS N 2° 02' 00" E
- SEE SHEET 3 OF 4 FOR ADDITIONAL NOTES AND LINE TABLES



File: W:\2023\231026_GBA -- 6418 University Ave, Middleton, WI 53572; Layout: CSM 1 OF 4; User: Zach; Plotted: Dec 08, 2023 - 11:26am

CERTIFIED SURVEY MAP NO. _____

A CONSOLIDATION OF ALL OF LOTS 1 AND 2, AND A PART OF LOT 3, BLOCK 3, BURMESTER'S SUBDIVISION, RECORDED IN VOLUME 10 OF PLATS ON PAGE 20 AS DOCUMENT NO. 647325, OUTLOT 111 OF ASSESSOR'S PLAT, VILLAGE OF MIDDLETON, RECORDED IN VOLUME 8 OF PLATS ON PAGE 27 AS DOCUMENT NO. 571577, AND LOT 1 OF CERTIFIED SURVEY MAP NO. 3126, RECORDED IN VOLUME 12 OF CERTIFIED SURVEYS ON PAGES 165-166 AS DOCUMENT NO. 1613602), LOCATED IN THE NE1/4 OF THE SW1/4, AND THE NW1/4 OF THE SE1/4 OF SECTION 12, TOWNSHIP 7 NORTH, RANGE 8 EAST, ALL IN THE CITY OF MIDDLETON, DANE COUNTY, WISCONSIN



LEGEND

- CSM BOUNDARY
- RIGHT-OF-WAY LINE
- CENTERLINE
- SECTION/QUARTER LINE
- PLATTED LINE
- EDGE OF CONCRETE
- EDGE OF ASPHALT
- EDGE OF GRAVEL
- FENCE LINE, TYPE NOTED



File: W:\2023\231026_GBA -- 6418 University Ave, Middleton.dwg\231026_CSM.dwg Layout: CSM 2 OF 4 User: Zach Plotted: Dec 08, 2023 -- 11:27am



PREPARED BY:
300 EAST FRONT STREET
MOUNT HOREB, WI 53572
www.wyserengineering.com

PREPARED FOR:
GBA ARCHITECTURE & DESIGN
2248 DEMING WAY
MIDDLETON, WI 53562

SURVEYED BY: MAL
DRAWN BY: ZMR
APPROVED BY: WPW

PROJECT NO: 231026
SHEET NO: 2 of 4

VOL. _____ PAGE _____
DOC. NO. _____
C.S.M. NO. _____

CERTIFIED SURVEY MAP NO. _____

A CONSOLIDATION OF ALL OF LOTS 1 AND 2, AND A PART OF LOT 3, BLOCK 3, BURMESTER'S SUBDIVISION, RECORDED IN VOLUME 10 OF PLATS ON PAGE 20 AS DOCUMENT NO. 647325, OUTLOT 111 OF ASSESSOR'S PLAT, VILLAGE OF MIDDLETON, RECORDED IN VOLUME 8 OF PLATS ON PAGE 27 AS DOCUMENT NO. 571577, AND LOT 1 OF CERTIFIED SURVEY MAP NO. 3126, RECORDED IN VOLUME 12 OF CERTIFIED SURVEYS ON PAGES 165-166 AS DOCUMENT NO. 1613602), LOCATED IN THE NE1/4 OF THE SW1/4, AND THE NW1/4 OF THE SE1/4 OF SECTION 12, TOWNSHIP 7 NORTH, RANGE 8 EAST, ALL IN THE CITY OF MIDDLETON, DANE COUNTY, WISCONSIN

NOTES:

1. FIELD WORK PERFORMED BY WYSER ENGINEERING, LLC. ON THE WEEKS OF APRIL 3RD & 17TH, AND MAY 29TH, 2023.
2. THIS PARCEL IS SUBJECT TO ALL EASEMENTS AND AGREEMENTS, BOTH RECORDED AND UNRECORDED.
3. IN DETERMINING THE BOUNDARY, I USED ASSESSOR'S PLAT VILLAGE OF MIDDLETON, BURMESTER'S SUBDIVISION, H.A. RAEMISCH PLAT, HEIM'S WOODS, PLAT OF RIGHT OF WAY FOR U.S. PUBLIC WORKS PROJ. NOS. N.R.M. 8B, N.R.H. 8A-REOP., & N.R.H. 8A-EXT. MADISON - MIDDLETON ROAD, U.S.H. NOS. 12 & 14, DANE CO. SURVEY RECORDS MAP NOS. 2015-00368, 2009-00450, & 4-4916, AND CSM 3126. RECORD BEARINGS AND DISTANCES SHOWN ON SHEET 1 OF 4 ARE REFERENCING THE ABOVE LISTED SURVEYS.

LINE TABLE		
LINE #	DIRECTION	LENGTH
L-1	S 87° 59' 39" E	3.01'
L-2	S 57° 57' 54" E	72.44'
()	S 60° 15' 50" E	72.42'
(*)	S 60° 15' 50" E	72.35'
L-3	S 74° 05' 02" W	11.55'
(**)	S 71° 16' 23" W	11.53'
(***)	S 71° 39' W	
L-4	S 46° 12' 53" E	95.37'
(-)	S 48° 38' 43" E	95.53'
(***)	S 48° 17' E	

LINE TABLE		
LINE #	DIRECTION	LENGTH
L-5	N 1° 33' 56" E	65.45'
(-)	N 0° 49' 03" E	65.85'
()	N 0° 51' E	
(--)	N 0° 24' W	
(***)	NORTH	65.45'
L-6	N 50° 26' 55" E	124.74'
()	N 48° 00' E	124.56'
(--)	N 48° 13' E	124.6'

- () PER CSM 3126
- (*) PER SURVEY MAP NO. 4-4916
- (**) PER SURVEY MAP NO. 2009-00450
- (***) PER BURMESTER'S SUBDIVISION
- (-) PER SURVEY MAP NO. 2015-00368
- (--) PER HEIM'S WOODS

LEGAL DESCRIPTION

A CONSOLIDATION OF ALL OF LOTS 1 AND 2, AND A PART OF LOT 3, BLOCK 3, BURMESTER'S SUBDIVISION, RECORDED IN VOLUME 10 OF PLATS ON PAGE 20 AS DOCUMENT NO. 647325, OUTLOT 111 OF ASSESSOR'S PLAT, VILLAGE OF MIDDLETON, RECORDED IN VOLUME 8 OF PLATS ON PAGE 27 AS DOCUMENT NO. 571577, AND LOT 1 OF CERTIFIED SURVEY MAP NO. 3126, RECORDED IN VOLUME 12 OF CERTIFIED SURVEYS ON PAGES 165-166 AS DOCUMENT NO. 1613602), LOCATED IN THE NE1/4 OF THE SW1/4, AND THE NW1/4 OF THE SE1/4 OF SECTION 12, TOWNSHIP 7 NORTH, RANGE 8 EAST, ALL IN THE CITY OF MIDDLETON, DANE COUNTY, WISCONSIN, DESCRIBED MORE PARTICULARLY AS FOLLOWS:

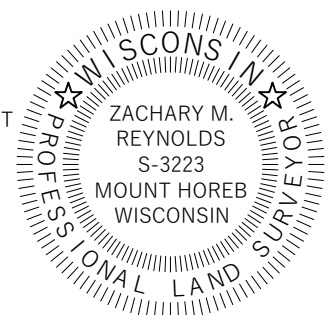
COMMENCING AT THE SOUTH QUARTER CORNER OF AFORESAID SECTION 12, THENCE ALONG THE TRUE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 12, NORTH 02 DEGREES 02 MINUTES 00 SECONDS EAST, 1842.39 FEET; THENCE SOUTH 87 DEGREES 59 MINUTES 39 SECONDS EAST, 3.01 FEET TO THE NORTHWEST CORNER OF AFORESAID LOT 1 OF CSM 3126, ALSO BEING THE SOUTHWEST CORNER OF H.A. RAEMISCH PLAT, RECORDED IN VOLUME 16 ON PAGE 48 AS DOCUMENT NO. 882916, ALSO BEING THE POINT OF BEGINNING;

THENCE ALONG THE NORTH LINE OF SAID LOT 1 OF CSM 3126 AND THE SOUTH LINE OF SAID H.A. RAEMISCH PLAT, SOUTH 87 DEGREES 59 MINUTES 39 SECONDS EAST, 103.20 FEET TO THE NORTHEAST CORNER OF SAID LOT 1 OF CSM 3126; THENCE ALONG THE EAST LINE OF SAID LOT 1 OF CSM 3126, SOUTH 03 DEGREES 24 MINUTES 30 SECONDS WEST, 153.41 FEET; THENCE CONTINUING ALONG AN EASTERLY LINE OF SAID LOT 1 OF CSM 3126, SOUTH 57 DEGREES 57 MINUTES 54 SECONDS EAST, 72.44 FEET TO THE EASTERNMOST CORNER OF SAID LOT 1 OF CSM 3126 ALSO BEING THE SOUTHERNMOST CORNER OF LOT 2 OF SAID CSM, AND ALSO BEING A COMMON CORNER OF LOTS 14 & 17 OF HEIM'S WOODS, RECORDED IN VOLUME 9 OF PLATS ON PAGE 22 AS DOCUMENT NO. 598479; THENCE ALONG A SOUTHEASTERLY LINE OF SAID LOT 1 OF CSM 3126, AND THE NORTHWESTERLY LINE OF SAID LOT 14 OF HEIM'S WOODS, SOUTH 50 DEGREES 26 MINUTES 55 SECONDS WEST, 150.50 FEET TO THE SOUTHERNMOST CORNER OF SAID LOT 1 OF CSM 3126, ALSO BEING THE WESTERNMOST CORNER OF SAID LOT 14, AND ALSO BEING A POINT ON THE NORTHEASTERLY RIGHT-OF-WAY OF UNIVERSITY AVENUE; THENCE ALONG SAID NORTHEASTERLY RIGHT-OF-WAY OF UNIVERSITY AVENUE, NORTH 45 DEGREES 59 MINUTES 13 SECONDS WEST 155.66 FEET TO THE WESTERNMOST CORNER OF AFORESAID OUTLOT 111 OF ASSESSOR'S PLAT, VILLAGE OF MIDDLETON, ALSO BEING A POINT ON THE SOUTHEASTERLY LINE OF AFORESAID LOT 1, BLOCK 3 OF BURMESTER'S SUBDIVISION; THENCE CONTINUING ALONG SAID NORTHEASTERLY RIGHT-OF-WAY AND THE SOUTHEASTERLY LINE OF SAID LOT 1, BLOCK 3, SOUTH 74 DEGREES 05 MINUTES 02 SECONDS WEST, 11.55 FEET TO THE SOUTHERNMOST CORNER OF SAID LOT 1, BLOCK 3; THENCE CONTINUING ALONG SAID NORTHEASTERLY RIGHT-OF-WAY AND THE SOUTHWESTERLY LINE OF SAID LOT 1, BLOCK 3, NORTH 45 DEGREES 59 MINUTES 13 SECONDS WEST, 120.59 FEET TO THE WESTERNMOST CORNER OF SAID LOT 1, BLOCK 3 OF BURMESTER'S SUBDIVISION, ALSO BEING THE INTERSECTION OF THE NORTHEASTERLY RIGHT-OF-WAY OF UNIVERSITY AVENUE AND THE SOUTHEASTERLY RIGHT-OF-WAY OF LAKEVIEW AVENUE; THENCE ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY OF LAKEVIEW AVENUE, NORTH 44 DEGREES 08 MINUTES 31 SECONDS EAST, 143.25 FEET TO THE NORTHERNMOST CORNER OF THE SOUTHWESTERLY 33 FEET OF AFORESAID LOT 3, BLOCK 3 OF BURMESTER'S SUBDIVISION; THENCE ALONG THE NORTHEASTERLY LINE OF SAID SOUTHWESTERLY 33 FEET OF LOT 3, BLOCK 3, SOUTH 46 DEGREES 12 MINUTES 53 SECONDS EAST, 95.37 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWESTERLY FEET OF LOT 3, BLOCK 3, ALSO BEING A POINT ON THE WEST LINE OF AFORESAID LOT 1 OF CSM 3126; THENCE ALONG THE WEST LINE OF SAID LOT 1 OF CSM 3126, NORTH 01 DEGREES 33 MINUTES 56 SECONDS EAST, 65.46 FEET BACK TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 51,660 SQUARE FEET OR 1.19 ACRES

SURVEYOR'S CERTIFICATE

I, ZACHARY M. REYNOLDS, WISCONSIN PROFESSIONAL LAND SURVEYOR S-3223, DO HEREBY CERTIFY THAT BY DIRECTION OF JEFFREY BRENKUS, I HAVE SURVEYED, DIVIDED, AND MAPPED THE LANDS DESCRIBED HEREON AND THAT THE MAP IS A CORRECT REPRESENTATION IN ACCORDANCE WITH THE INFORMATION PROVIDED. I FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS IN FULL COMPLIANCE WITH CHAPTER 236.34 OF THE WISCONSIN STATUTES AND THE SUBDIVISION REGULATIONS OF THE CITY OF MIDDLETON AND DANE COUNTY, WISCONSIN.



ZACHARY M. REYNOLDS, S-3223
WISCONSIN PROFESSIONAL LAND SURVEYOR

DATE

<p>WYSER ENGINEERING 300 EAST FRONT STREET MOUNT HOREB, WI 53572 www.wyserengineering.com</p>	<p>PREPARED FOR: GBA ARCHITECTURE & DESIGN 2248 DEMING WAY MIDDLETON, WI 53562</p>	<p>SURVEYED BY: MAL DRAWN BY: ZMR APPROVED BY: WPW</p>	<p>PROJECT NO: 231026 SHEET NO: 3 of 4</p>
VOL. _____ PAGE _____		DOC. NO. _____	
C.S.M. NO. _____		Page 21 of 54	

CERTIFIED SURVEY MAP NO. _____

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OWNER'S CERTIFICATE

RIPPLE TRUST DATED JANUARY 7, 1994, AS OWNER, WE HEREBY CERTIFY THAT WE CAUSED THE LANDS DESCRIBED HEREON TO BE SURVEYED, DIVIDED AND MAPPED AS SHOWN. WE ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S. 236.34 TO BE SUBMITTED TO THE CITY OF MIDDLETON FOR APPROVAL.

BY: _____
AUTHORIZED MEMBER
RIPPLE TRUST DATED JANUARY 7, 1994

STATE OF WISCONSIN) SS
DANE COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2024, THE ABOVE

AUTHORIZED MEMBER FOR RIPPLE TRUST DATED JANUARY 7, 1994, _____ TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN MY COMMISSION EXPIRES _____

OWNER'S CERTIFICATE

DEBORAH D. AMBURN, AS OWNER, I HEREBY CERTIFY THAT WE CAUSED THE LANDS DESCRIBED HEREON TO BE SURVEYED, DIVIDED AND MAPPED AS SHOWN. WE ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S. 236.34 TO BE SUBMITTED TO THE CITY OF MIDDLETON FOR APPROVAL

BY: _____
DEBORAH D. AMBURN

STATE OF WISCONSIN) SS
DANE COUNTY) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2024, THE ABOVE NAMED OWNER, DEBORAH D. AMBURN, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC, STATE OF WISCONSIN MY COMMISSION EXPIRES _____



CITY OF MIDDLETON PLAN COMMISSION CERTIFICATE

APPROVED FOR RECORDING PER CITY OF MIDDLETON PLANNING COMMISSION

ACTION OF THIS _____ DAY OF _____, 2024.

AUTHORIZED REPRESENTATIVE DATE

OFFICE OF THE REGISTER OF DEEDS

_____ COUNTY, WISCONSIN

RECEIVED FOR RECORD _____

20 ____ AT _____ O'CLOCK ____ M AS

DOCUMENT # _____

IN VOL. _____ OF CERTIFIED SURVEY

MAPS ON PAGE(S) _____

KRISTI CHLEBOWSKI, REGISTER OF DEEDS



PREPARED BY:
300 EAST FRONT STREET
MOUNT HOREB, WI 53572
www.wyserengineering.com

PREPARED FOR:
GBA ARCHITECTURE & DESIGN
2248 DEMING WAY
MIDDLETON, WI 53562

SURVEYED BY: MAL
DRAWN BY: ZMR
APPROVED BY: WPW

PROJECT NO: 231026
SHEET NO: 4 of 4



UNIVERSITY AVENUE APARTMENTS

6418 UNIVERSITY AVENUE
MIDDLETON, WI 53562

SIP DRAWING SET
12/12/2023

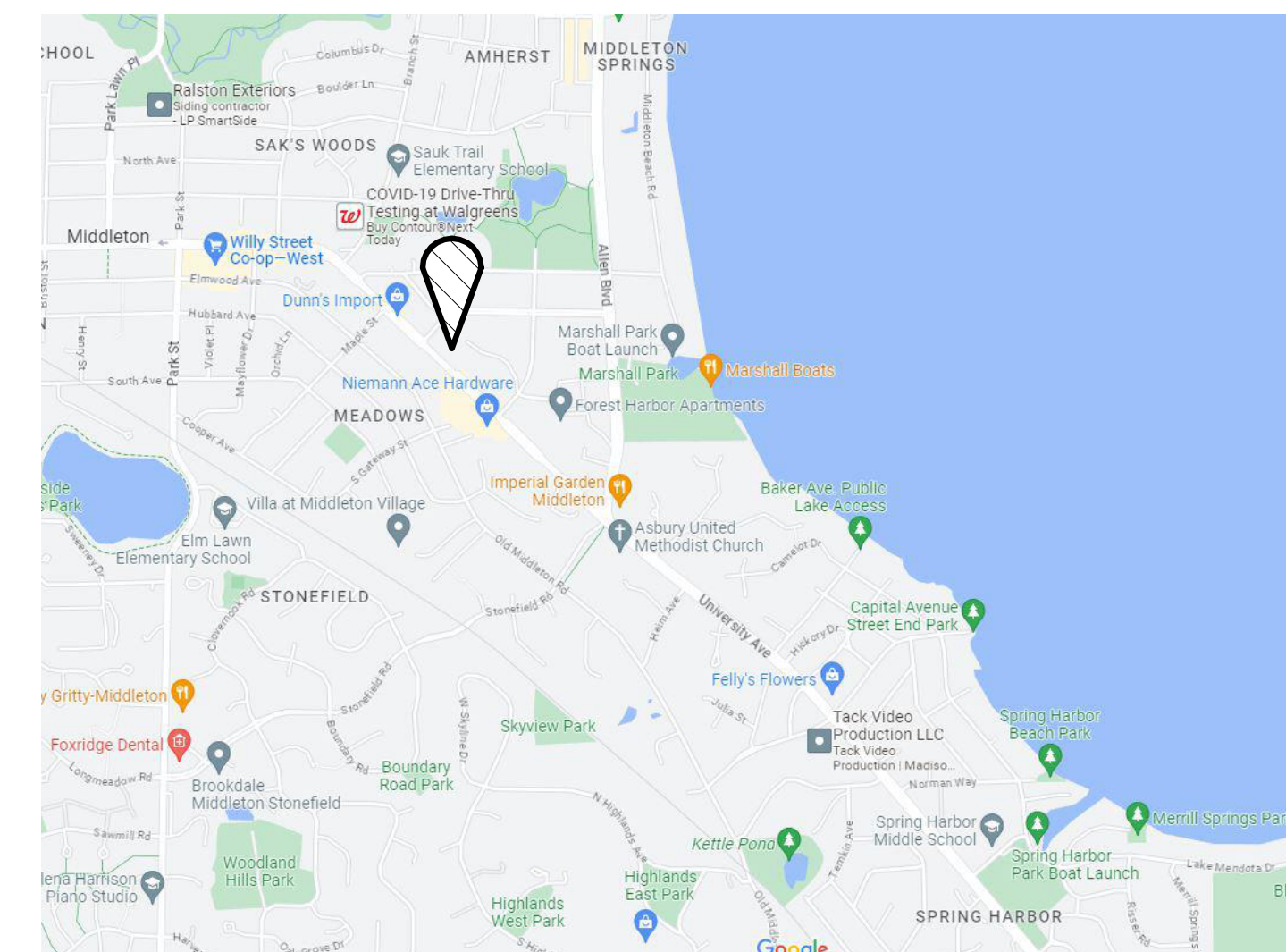
GBA PROJECT NO. 202303

OWNER:
 RIPPLE MANAGEMENT
3801 REGENT STREET
MADISON, WI 53705
PHONE: (608) 238-2044
CONTACT: JULIO MARTINEZ
EMAIL: julio@ripplements.com

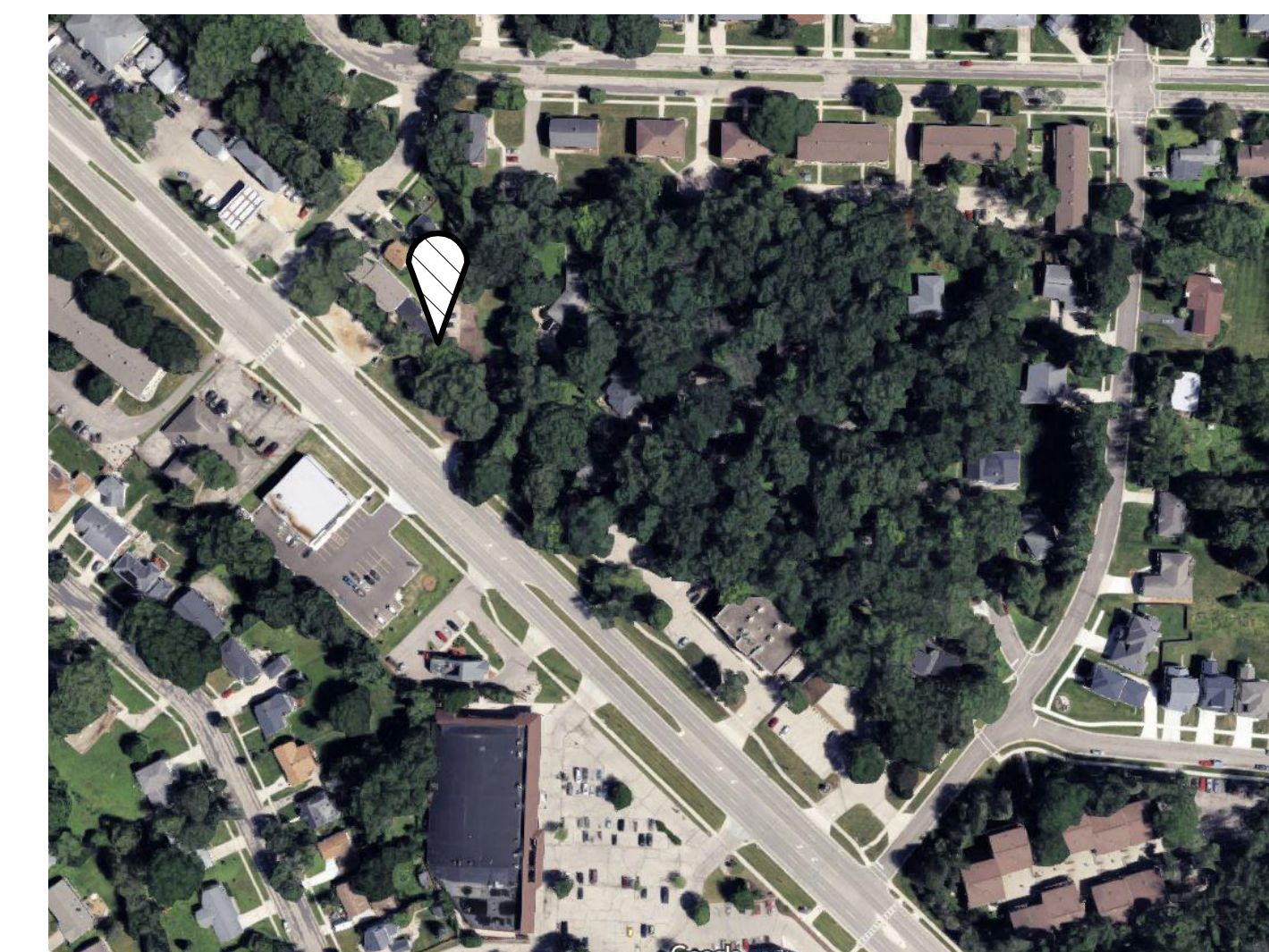
ARCHITECT/INTERIOR DESIGNER:
 GARY BRINK AND ASSOCIATES, INC
2248 DEMING WAY, SUITE 120
MIDDLETON, WI 53762
PHONE: (608) 829-1750
CONTACT: JEFFREY T. BRENKUS
EMAIL: jeff.brenkus@garybrink.com

CIVIL/LANDSCAPE:
 WYSER ENGINEERING
300 EAST FRONT STREET
MOUNT HOREB, WI 53572
PHONE: (608) 437.1980
CONTACT: WADE WYSE
EMAIL: wade.wyse@wyserengineering.com

VICINITY LOCATION MAP:



PROJECT LOCATION MAP:



PROJECT:
 UNIVERSITY AVENUE APARTMENTS
6418 UNIVERSITY AVENUE
MIDDLETON, WISCONSIN
CLIENT:
 RIPPLE MANAGEMENT
3801 REGENT STREET
MADISON, WISCONSIN

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PROJECT: 202303
DRAWN BY:
DATE:
SCALE: AS NOTED
GIP DRAWING SET 06/20/2023
CLIENT REVIEW SET 11/20/2023
SIP DRAWING SET 12/12/2023

COVER	PROJECT COVER SHEET
A-00	AERIAL VIEWS
A-01	ARCHITECTURAL SITE PLAN
A-02	LOWER LEVEL FLOOR PLAN
A-03	FIRST FLOOR PLAN
A-04	SECOND FLOOR PLAN
A-05	THIRD FLOOR PLAN
A-06	FOURTH FLOOR PLAN
A-07	FIFTH FLOOR PLAN
A-08	EXTERIOR ELEVATIONS
A-09	SHADE & SHADOW STUDIES
C-100	SITE PLAN
C-101	DEMOLITION PLAN
C-200	GRADING & EROSION CONTROL PLAN
C-201	DETAIL GRADING PLAN
C-300	UTILITY PLAN
C-400	DETAILS
C-401	DETAILS
L-100	LANDSCAPE PLAN

PROJECT COVER SHEET



AERIAL VIEW OF SITE



AERIAL VIEW OF SITE



AERIAL VIEW OF SITE



AERIAL VIEW OF SITE

PROJECT: UNIVERSITY AVENUE APARTMENTS
6418 UNIVERSITY AVENUE
MIDDLETON, WISCONSIN
CLIENT: RIPPLE MANAGEMENT
3801 REGEN STREET
MADISON, WISCONSIN

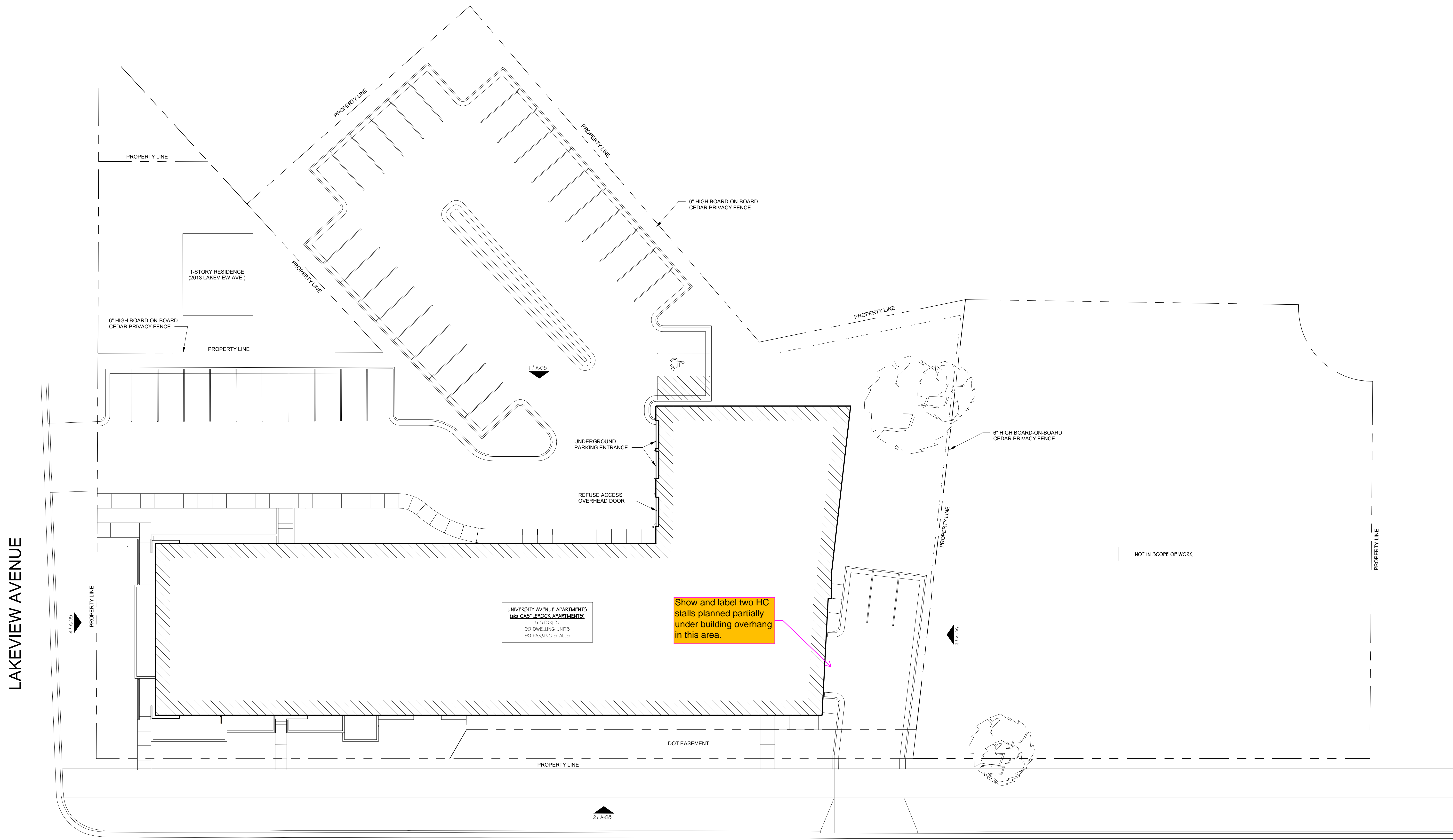
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PROJECT: 202303
DRAWN BY:
DATE:
SCALE: AS NOTED

GIP DRAWING SET 06/20/2023
CLIENT REVIEW SET 11/20/2023
SIP DRAWING SET 12/12/2023

CASTLE ROCK APARTMENTS - SIP APPROVAL DRAWING SET

FLOOR	STUDIO 512sf	1-BR + 1BA 517sf	1-BR + 1BA 588sf	1-BR + 1BA 627sf	1-BR + 1BA 777sf	1-BR w/DEN 771sf	1-BR w/DEN 970sf	2-BR + 1-BA 847sf	2-BR + 2-BA 1,002sf	2-BR + 2BA 1,024sf	TOTAL	AREA	UG PARKING	SURF. PARKING	TOTAL PARKING
LL - O.A.	-	-	-	-	-	-	-	-	-	-	0	16,684	45	40	85
1ST FLR	5	2	2	2	1	1	1	-	1	1	16	16,076	-	5	5
2ND FLR	5	4	2	2	1	1	1	1	1	1	19	16,556			
3RD FLR	5	4	2	2	1	1	1	1	1	1	19	16,556			
4TH FLR	5	4	2	2	1	1	1	1	1	1	19	16,556			
5TH FLR	5	4	2	2	-	1	-	1	1	1	17	14,658			
TOTAL/TYPE	25	18	10	10	4	5	4	4	5	5	90	80,402	45	45	90
TOTAL	25			42			9		14						



LAKEVIEW AVENUE

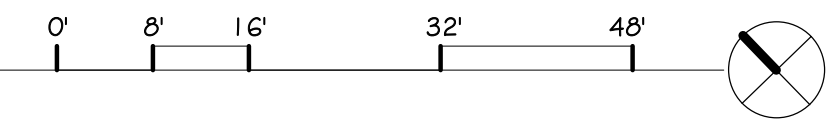
UNIVERSITY AVENUE

PROJECT: UNIVERSITY AVENUE APARTMENTS
 6418 UNIVERSITY AVENUE
 MIDDLETON, WISCONSIN
 CLIENT: RIPPLE MANAGEMENT
 3801 REGENT STREET
 MADISON, WISCONSIN

PROJECT: 202303
 DRAWN BY:
 DATE:
 SCALE: AS NOTED
 GIP DRAWING SET 06/20/2023
 CLIENT REVIEW SET 11/20/2023
 SIP DRAWING SET 12/12/2023

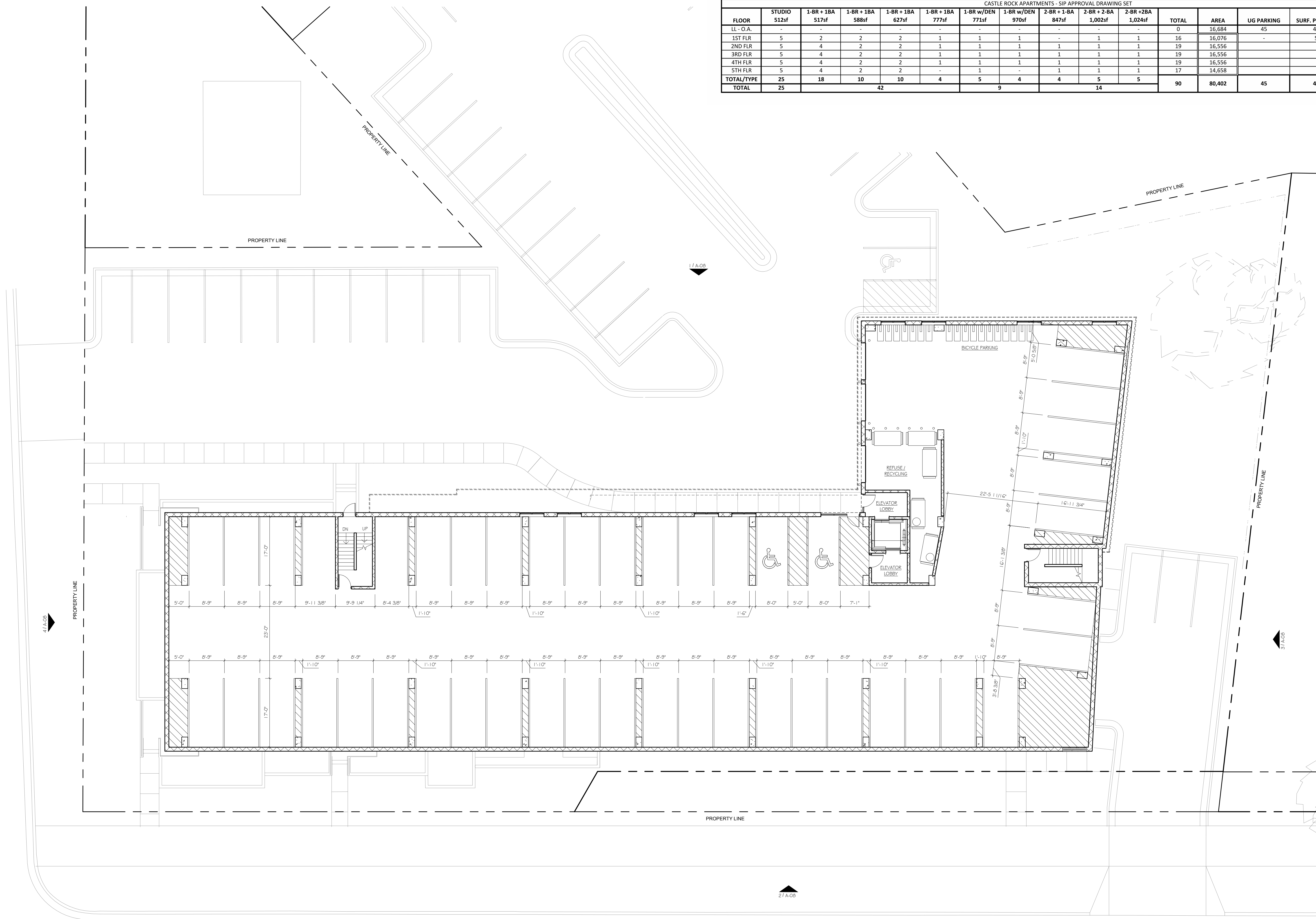
ARCHITECTURAL
SITE PLAN

1 ARCHITECTURAL SITE PLAN
1/16" = 1'-0"

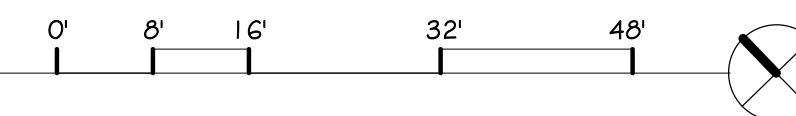


CASTLE ROCK APARTMENTS - SIP APPROVAL DRAWING SET

FLOOR	STUDIO 512sf	1-BR + 1BA 517sf	1-BR + 1BA 588sf	1-BR + 1BA 627sf	1-BR + 1BA 777sf	1-BR w/DEN 771sf	1-BR w/DEN 970sf	2-BR + 1-BA 847sf	2-BR + 2-BA 1,002sf	2-BR + 2BA 1,024sf	TOTAL	AREA	UG PARKING	SURF. PARKING	TOTAL PARKING
LL - O.A.	-	-	-	-	-	-	-	-	-	-	0	16,684	45	40	85
1ST FLR	5	2	2	2	1	1	1	-	1	1	16	16,076	-	5	5
2ND FLR	5	4	2	2	1	1	1	1	1	1	19	16,556	-	-	-
3RD FLR	5	4	2	2	1	1	1	1	1	1	19	16,556	-	-	-
4TH FLR	5	4	2	2	1	1	1	1	1	1	19	16,556	-	-	-
5TH FLR	5	4	2	2	-	1	-	1	1	1	17	14,658	-	-	-
TOTAL/TYPE	25	18	10	10	4	5	4	4	5	5	90	80,402	45	45	90
TOTAL	25	42			9		14								



1 LOWER LEVEL PLAN
3/32" = 1'-0"



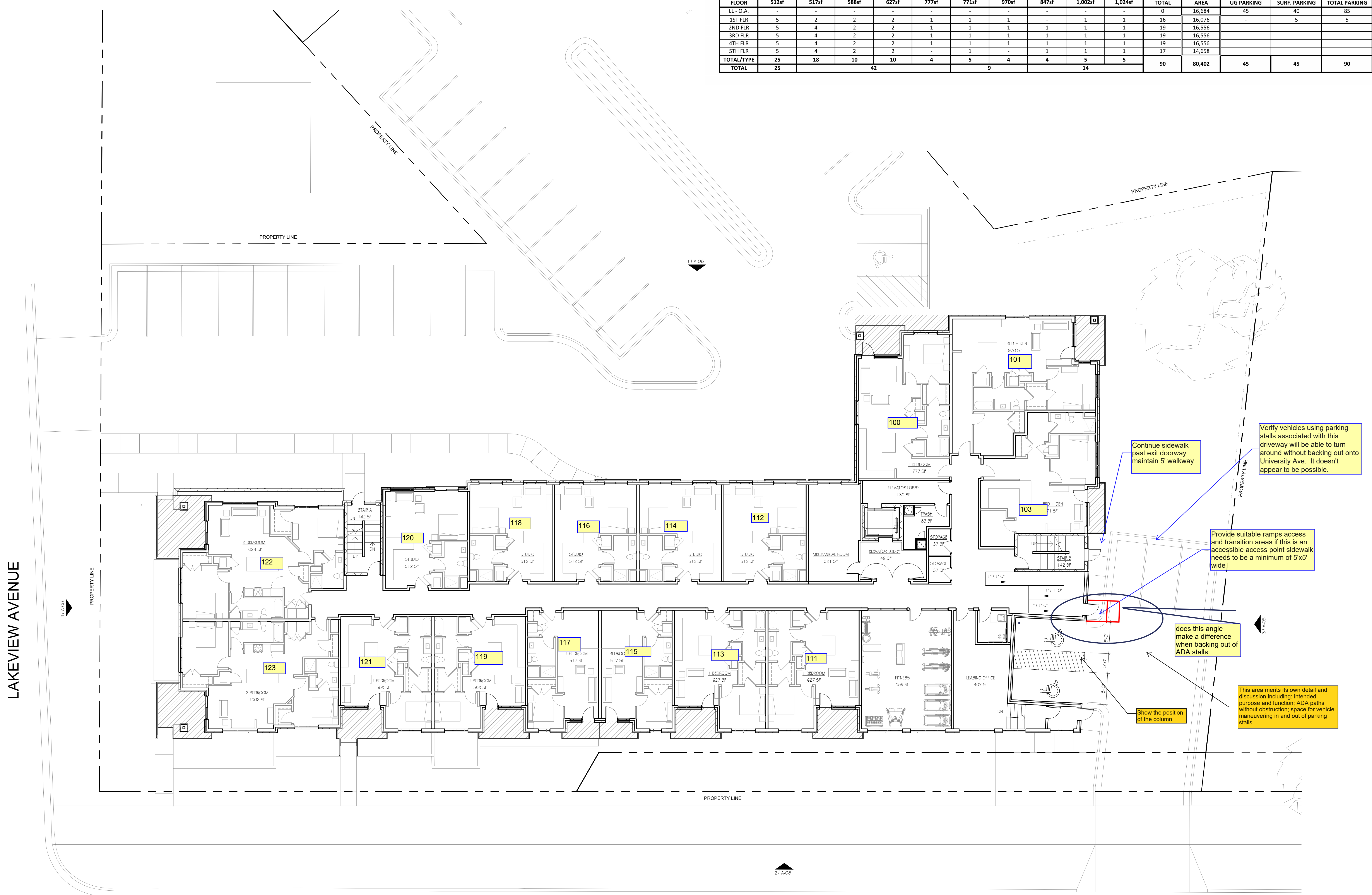
PROJECT: **UNIVERSITY AVENUE APARTMENTS**
6418 UNIVERSITY AVENUE
MIDDLETON, WISCONSIN
CLIENT: **RIPPLE MANAGEMENT**
3801 REGENT STREET
MADISON, WISCONSIN

PROJECT: 202303
DRAWN BY:
DATE:
SCALE: AS NOTED

GIP DRAWING SET 06/20/2023
CLIENT REVIEW SET 11/20/2023
SIP DRAWING SET 12/12/2023

LOWER LEVEL FLOOR PLAN

CASTLE ROCK APARTMENTS - SIP APPROVAL DRAWING SET														TOTAL	AREA	UG PARKING	SURF. PARKING	TOTAL PARKING
FLOOR	STUDIO	1-BR + 1BA	1-BR + 1BA	1-BR + 1BA	1-BR + 1BA	1-BR + 1BA	1-BR w/DEN	1-BR w/DEN	2-BR + 1-BA	2-BR + 2-BA	2-BR + 2BA							
	512sf	517sf	588sf	627sf	777sf	771sf	970sf	847sf	1,002sf	1,024sf								
LL - O.A.	-	-	-	-	-	-	-	-	-	-	-	-	-	0	16,684	45	40	85
1ST FLR	5	2	2	2	1	1	1	-	1	1	1		16	16,076	-	5	5	
2ND FLR	5	4	2	2	1	1	1	1	1	1	1		19	16,556				
3RD FLR	5	4	2	2	1	1	1	1	1	1	1		19	16,556				
4TH FLR	5	4	2	2	1	1	1	1	1	1	1		19	16,556				
5TH FLR	5	4	2	2	-	1	-	1	1	1	1		17	14,658				
TOTAL/TYPE	25	18	10	10	4	5	4	4	5	5	5		90	80,402	45	45	90	
TOTAL	25			42						14			90					



Verify vehicles using parking stalls associated with this driveway will be able to turn around without backing out onto University Ave. It doesn't appear to be possible.

Continue sidewalk past exit doorway maintain 5' walkway

Provide suitable ramps access and transition areas if this is an accessible access point sidewalk needs to be a minimum of 5'x5' wide

does this angle make a difference when backing out of ADA stalls

This area merits its own detail and discussion including: intended purpose and function; ADA paths without obstruction; space for vehicle maneuvering in and out of parking stalls

Show the position of the column

LAKEVIEW AVENUE

PROJECT: UNIVERSITY AVENUE APARTMENTS
6418 UNIVERSITY AVENUE
MIDDLETON, WISCONSIN
CLIENT: RIPPLE MANAGEMENT
3801 REGENT STREET
MADISON, WISCONSIN

PROJECT: 202303
DRAWN BY:
DATE:
SCALE: AS NOTED

GIP DRAWING SET 06/20/2023
CLIENT REVIEW SET 11/20/2023
SIP DRAWING SET 12/12/2023

FIRST FLOOR PLAN

CASTLE ROCK APARTMENTS - SIP APPROVAL DRAWING SET															
FLOOR	STUDIO 512sf	1-BR + 1BA 517sf	1-BR + 1BA 588sf	1-BR + 1BA 627sf	1-BR + 1BA 777sf	1-BR w/DEN 771sf	1-BR w/DEN 970sf	2-BR + 1-BA 847sf	2-BR + 2-BA 1,002sf	2-BR + 2BA 1,024sf	TOTAL	AREA	UG PARKING	SURF. PARKING	TOTAL PARKING
LL - O.A.	-	-	-	-	-	-	-	-	-	-	0	16,684	45	40	85
1ST FLR	5	2	2	2	1	1	1	-	1	1	16	16,076	-	5	5
2ND FLR	5	4	2	2	1	1	1	1	1	1	19	16,556	-	-	-
3RD FLR	5	4	2	2	1	1	1	1	1	1	19	16,556	-	-	-
4TH FLR	5	4	2	2	1	1	1	1	1	1	19	16,556	-	-	-
5TH FLR	5	4	2	2	-	1	-	1	1	1	17	14,658	-	-	-
TOTAL/TYPE	25	18	10	10	4	5	4	4	5	5	90	80,402	45	45	90
TOTAL	25			42			9		14						

1/A-05



4/A-05

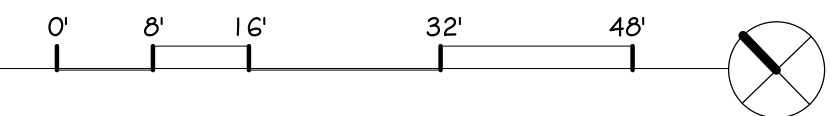
5/A-05

PROJECT: UNIVERSITY AVENUE APARTMENTS
6418 UNIVERSITY AVENUE
MIDDLETON, WISCONSIN
CLIENT: RIPPLE MANAGEMENT
3801 REGENT STREET
MADISON, WISCONSIN

PROJECT: 202303
DRAWN BY:
DATE:
SCALE: AS NOTED

GIP DRAWING SET 06/20/2023
CLIENT REVIEW SET 11/20/2023
SIP DRAWING SET 12/12/2023

1 SECOND FLOOR PLAN
3/32" = 1'-0"



SECOND FLOOR PLAN

CASTLE ROCK APARTMENTS - SIP APPROVAL DRAWING SET															
FLOOR	STUDIO 512sf	1-BR + 1BA 517sf	1-BR + 1BA 588sf	1-BR + 1BA 627sf	1-BR + 1BA 777sf	1-BR w/DEN 771sf	1-BR w/DEN 970sf	2-BR + 1-BA 847sf	2-BR + 2-BA 1,002sf	2-BR + 2BA 1,024sf	TOTAL	AREA	UG PARKING	SURF. PARKING	TOTAL PARKING
LL - O.A.	-	-	-	-	-	-	-	-	-	-	0	16,684	45	40	85
1ST FLR	5	2	2	2	1	1	1	-	1	1	16	16,076	-	5	5
2ND FLR	5	4	2	2	1	1	1	1	1	1	19	16,556			
3RD FLR	5	4	2	2	1	1	1	1	1	1	19	16,556			
4TH FLR	5	4	2	2	1	1	1	1	1	1	19	16,556			
5TH FLR	5	4	2	2	-	1	-	1	1	1	17	14,658			
TOTAL/TYPE	25	18	10	10	4	5	4	4	5	5	90	80,402	45	45	90
TOTAL	25			42					14						

1/A-05

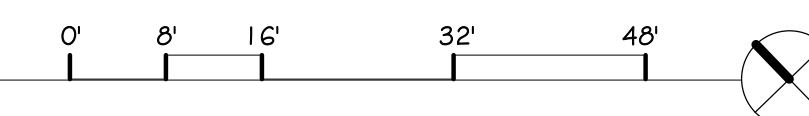


PROJECT: UNIVERSITY AVENUE APARTMENTS
6418 UNIVERSITY AVENUE
MIDDLETON, WISCONSIN
CLIENT: RIPPLE MANAGEMENT
3801 REGENT STREET
MADISON, WISCONSIN

PROJECT: 202303
DRAWN BY:
DATE:
SCALE: AS NOTED

GIP DRAWING SET 06/20/2023
CLIENT REVIEW SET 11/20/2023
SIP DRAWING SET 12/12/2023

2 THIRD FLOOR PLAN
3/32" = 1'-0"



THIRD FLOOR PLAN

CASTLE ROCK APARTMENTS - SIP APPROVAL DRAWING SET															
FLOOR	STUDIO	1-BR + 1BA	1-BR + 1BA	1-BR + 1BA	1-BR + 1BA	1-BR w/DEN	1-BR w/DEN	2-BR + 1-BA	2-BR + 2-BA	2-BR + 2BA	TOTAL	AREA	UG PARKING	SURF. PARKING	TOTAL PARKING
	512sf	517sf	588sf	627sf	777sf	771sf	970sf	847sf	1,002sf	1,024sf					
LL - O.A.	-	-	-	-	-	-	-	-	-	-	0	16,684	45	40	85
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2ND FLR	5	4	2	2	1	1	1	1	1	1	19	16,556			
3RD FLR	5	4	2	2	1	1	1	1	1	1	19	16,556			
4TH FLR	5	4	2	2	1	1	1	1	1	1	19	16,556			
5TH FLR	5	4	2	2	-	1	-	1	1	1	17	14,658			
TOTAL/TYPE	25	18	10	10	4	5	4	4	5	5	90	80,402	45	45	90
TOTAL	25			42					14						

1/A-05

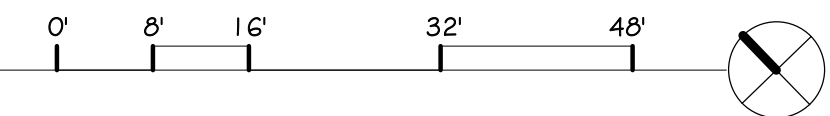


PROJECT: UNIVERSITY AVENUE APARTMENTS
6418 UNIVERSITY AVENUE
MIDDLETON, WISCONSIN
CLIENT: RIPPLE MANAGEMENT
3801 REGENT STREET
MADISON, WISCONSIN

PROJECT: 202303
DRAWN BY:
DATE:
SCALE: AS NOTED

GIP DRAWING SET 06/20/2023
CLIENT REVIEW SET 11/20/2023
SIP DRAWING SET 12/12/2023

1 FOURTH FLOOR PLAN
3/32" = 1'-0"



FOURTH FLOOR PLAN

CASTLE ROCK APARTMENTS - SIP APPROVAL DRAWING SET

FLOOR	STUDIO 512sf	1-BR + 1BA 517sf	1-BR + 1BA 588sf	1-BR + 1BA 627sf	1-BR + 1BA 777sf	1-BR w/DEN 771sf	1-BR w/DEN 970sf	2-BR + 1-BA 847sf	2-BR + 2-BA 1,002sf	2-BR + 2BA 1,024sf	TOTAL	AREA	UG PARKING	SURF. PARKING	TOTAL PARKING
LL - O.A.	-	-	-	-	-	-	-	-	-	-	0	16,684	45	40	85
1ST FLR	5	2	2	2	1	1	1	-	1	1	16	16,076	-	5	5
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4TH FLR	5	4	2	2	1	1	1	1	1	1	19	16,556	-	-	-
5TH FLR	5	4	2	2	-	1	-	1	1	1	17	14,658	-	-	-
TOTAL/TYPE	25	18	10	10	4	5	4	4	5	5	90	80,402	45	45	90
TOTAL	25			42						14					

1/A-05



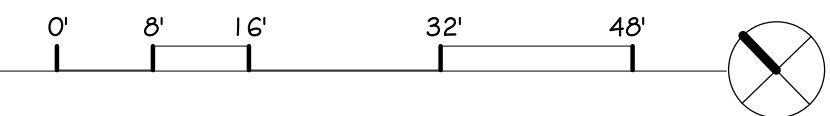
PROJECT:
UNIVERSITY AVENUE APARTMENTS
6418 UNIVERSITY AVENUE
MIDDLETON, WISCONSIN
CLIENT:
RIPPLE MANAGEMENT
3801 REGENT STREET
MADISON, WISCONSIN

PROJECT: 202303
DRAWN BY:
DATE:
SCALE: AS NOTED

GIP DRAWING SET 06/20/2023
CLIENT REVIEW SET 11/20/2023
SIP DRAWING SET 12/12/2023

FIFTH FLOOR PLAN

2 FIFTH FLOOR PLAN
3/32" = 1'-0"





1 NORTH ELEVATION
3/32" = 1'-0"



2 SOUTH ELEVATION
3/32" = 1'-0"

ACTUAL	GRAPHIC	FINISH TAG	DESCRIPTION
		BR-1	BRICK MANUFACTURER: GLEN-GERY COLOR: JAMESTOWN FINISH: SAND
		BR-2	BRICK MANUFACTURER: HEBRON COLOR: MADISON FINISH: RUSTIC
		STN-1	STONE VENEER MANUFACTURER: BUECHEL STONE COLOR: SILVERDALE LIMESONE FINISH: WEATHERLASTIC SMOOTH VARYING SIZES
		MTL-1	METAL PANEL SIDING MANUFACTURER: PAC-CLAD COLOR: BURNISHED SLATE FINISH: SMOOTH, FLUSH AND REVEAL VARYING PANEL WIDTHS (7'-12")
		TRM-1	METAL TRIM MANUFACTURER: PAC-CLAD COLOR: BURNISHED SLATE FINISH: SMOOTH
		TRM-2	COMPOSITE TRIM MANUFACTURER: LP SMARTSIDE COLOR: TO MATCH BURNISHED SLATE FINISH: CEDAR TEXTURE
		WD-1	WOOD-LOOK COMPOSITE SIDING MANUFACTURER: LP SMARTSIDE, 38 SERIES COLOR: TO MATCH BURNISHED SLATE FINISH: CEDAR TEXTURE
		WD-2	WOOD-LOOK SOFFIT & UNDERSIDE OF PATIOS MANUFACTURER: CERTANTEED, 150F SERIES COLOR: FONTHILL CHERRY (8422) FINISH: CEDAR TEXTURE
		WIN-1	METAL WINDOWS MANUFACTURER: INTUS, SUPERA SERIES COLOR: DARK BRONZE FINISH: MATTE
		WIN-2	METAL PATIO DOORS MANUFACTURER: INTUS, SUPERA SERIES COLOR: DARK BRONZE FINISH: MATTE
		SF-1	METAL STOREFRONT SYSTEM MANUFACTURER: KAWNEER COLOR: DARK BRONZE FINISH: MATTE

Include reference to NAVD88 elevation (typ).



3 EAST ELEVATION
3/32" = 1'-0"

will this grade change meet ADA for accessible entrance to the building

You might want to step out onto level ground when exiting the stairway



4 WEST ELEVATION
3/32" = 1'-0"

PROJECT: UNIVERSITY AVENUE APARTMENTS
6418 UNIVERSITY AVENUE
MIDDLETON, WISCONSIN
CLIENT: RIPPLE MANAGEMENT
3801 REGENT STREET
MADISON, WISCONSIN

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PROJECT: 202303
DRAWN BY:
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GIP DRAWING SET 06/20/2023
CLIENT REVIEW SET 11/20/2023
SIP DRAWING SET 12/12/2023

EXTERIOR ELEVATIONS



WINTER SOLSTICE - 10:00 AM



WINTER SOLSTICE - 12:00 PM



WINTER SOLSTICE - 5:00 PM



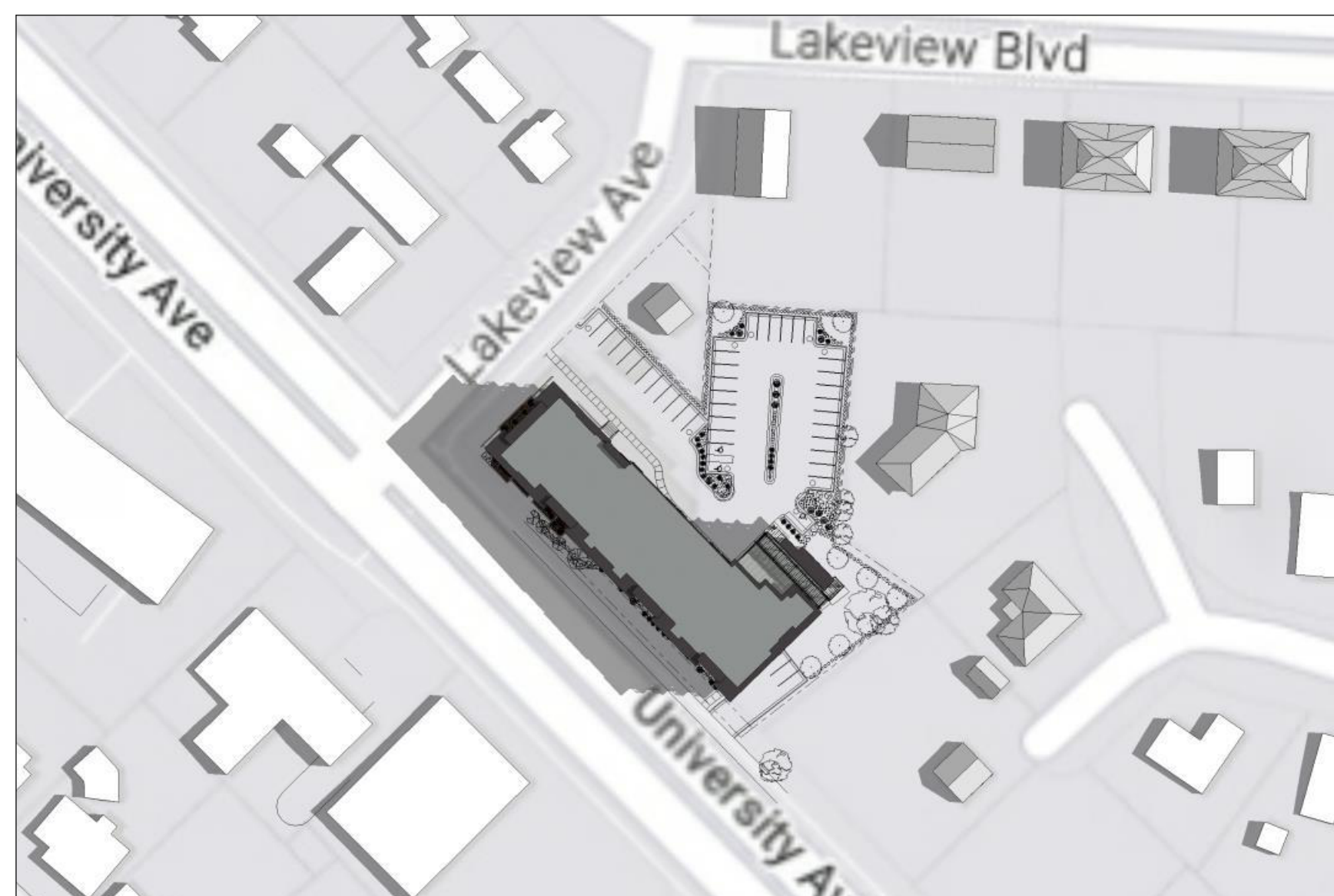
EQUINOX - 9:00 AM



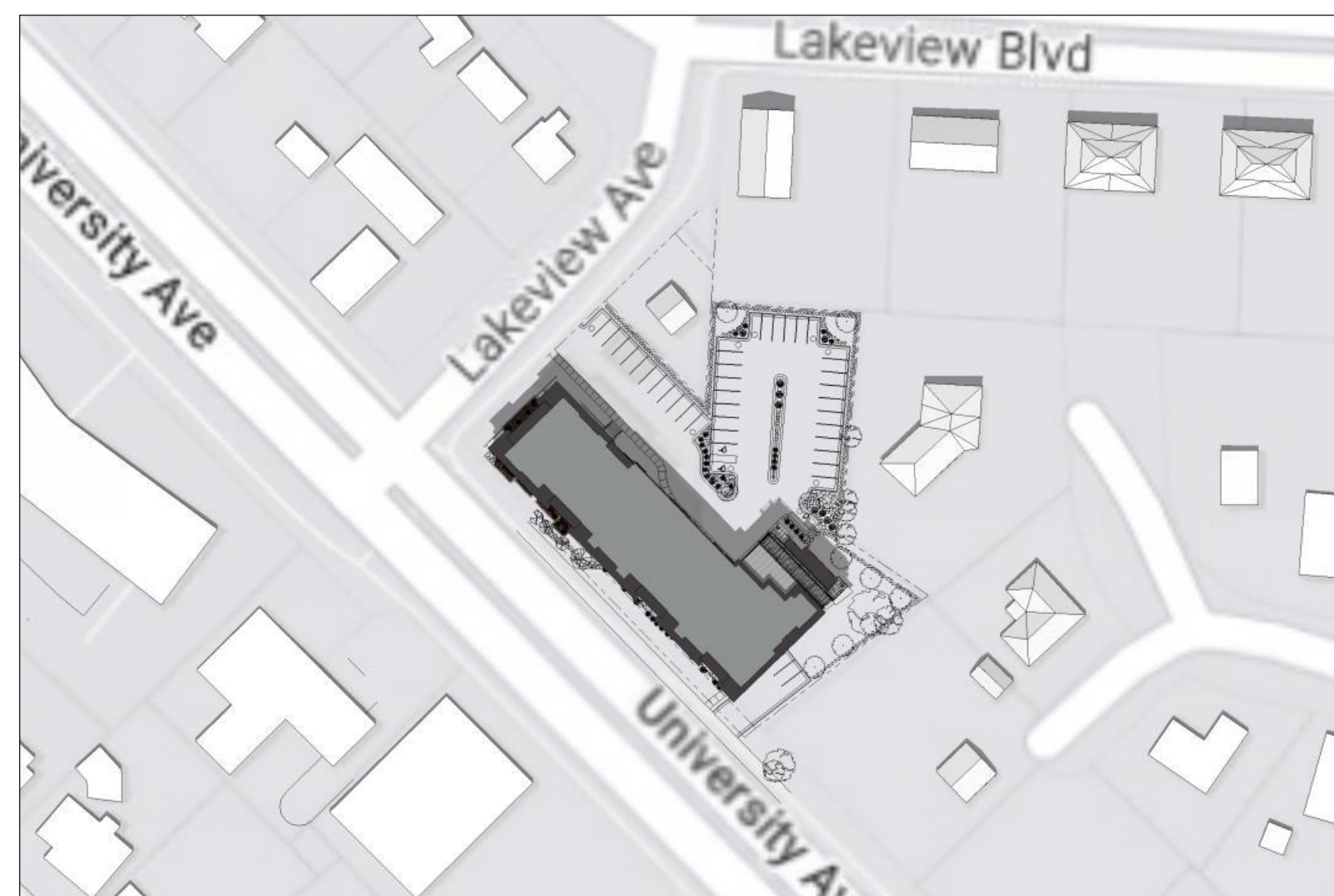
EQUINOX - 12:00 PM



EQUINOX - 4:00 PM



SUMMER SOLSTICE - 8:00 AM



SUMMER SOLSTICE - 12:00 PM



SUMMER SOLSTICE - 5:00 PM

PROJECT: UNIVERSITY AVENUE APARTMENTS
6418 UNIVERSITY AVENUE
MIDDLETON, WISCONSIN
CLIENT: RIPPLE MANAGEMENT
3801 REGENT STREET
MADISON, WISCONSIN

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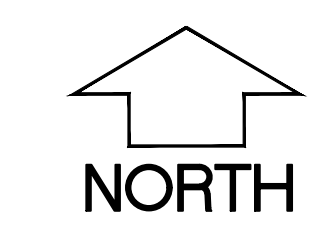
PROJECT: 202303
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DATE:
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GIP DRAWING SET 06/20/2023
CLIENT REVIEW SET 11/20/2023
SIP DRAWING SET 12/12/2023

SHADE & SHADOW
STUDIES

LEGEND (PROPOSED)

- PROPOSED PROPERTY BOUNDARY
- - - EASEMENT
- ▭ BUILDING FOOTPRINT
- ▭ 18" CURB AND GUTTER
- ▭ ASPHALT PAVEMENT
- ▭ CONCRETE PAVEMENT
- ▭ STORMWATER TREATMENT FACILITY



GENERAL NOTES

- UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEKS OF APRIL 6 AND MAY 31, 2023. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
- THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE ELEVATIONS FOR THE SURVEY ARE BASED ON PUBLISHED ELEVATIONS FOR CITY OF MIDDLETON HYDRANT H12090. PRIOR TO SETTING SITE ELEVATIONS, THE CONTRACTOR SHALL CHECK INTO THE BENCHMARKS SHOWN. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK TRANSFER ONTO THE SITE.
- CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
- WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
- IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
- ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MIDDLETON STANDARD SPECIFICATIONS.

SITE INFORMATION BLOCK:

SITE ADDRESS: 6418 UNIVERSITY AVE.
 SITE ACREAGE: 51,654 SQ.FT. (1.19 AC)
 USE OF PROPERTY: MULTI-FAMILY RESIDENTIAL
 ZONING:
 CURRENT: RESIDENTIAL (R-3)
 PROPOSED: PDD

SETBACKS:
 BUILDING:
 FRONT YARD: 15- FEET (UNIVERSITY AVE WHERE SHOWN) 5- FEET (UNIVERSITY AVE WHERE SHOWN)
 20- FEET (LAKEVIEW AVE)
 REAR YARD: 20- FEET (NORTHEAST)
 SIDE YARD: 30- FEET (SOUTHWEST)
 PATIO: 1.5- FEET INTO FRONT YARD SETBACK (UNIVERSITY AVE)
 6.5- FEET INTO FRONT YARD SETBACK (LAKEVIEW AVE)
 4.0- FEET INTO SIDE YARD (SOUTHWEST)
 RETAINING WALL ALLOWED WITHIN 1- FOOT OF PROPERTY LINE

NUMBER OF UNITS: SEE ARCHITECTURAL PLANS
 TOTAL NUMBER OF PARKING STALLS: 90
 NUMBER OF STALLS DESIGNATED ACCESSIBLE: 5
 INTERNAL: 45
 STANDARD: 43
 ACCESSIBLE: 2 (BOTH VAN COMPLIANT)
 EXTERNAL (INCLUDING 2 COVERED ADA STALLS ON FIRST FLOOR LEVEL IN SOUTHEAST CORNER OF BUILDING): 45
 STANDARD: 42
 ACCESSIBLE: 3 (2 VAN COMPLIANT)

TOTAL NUMBER OF BIKE STALLS: 20 (INTERNAL STORAGE)

EXISTING IMPERVIOUS SURFACE AREA: 21,971 SQ.FT.
 ROOFTOP: 5,987 SQ.FT.
 PAVED: 15,984 SQ.FT.
 DRIVEWAY: 12,399 SQ.FT.
 SIDEWALK: 3,585 SQ.FT.

NEW IMPERVIOUS SURFACE AREA: 38,217 SQ.FT.
 ROOFTOP: 16,680 SQ.FT.
 PAVED: 21,537 SQ.FT.
 DRIVEWAY: 15,677 SQ.FT.
 SIDEWALK: 1,509 SQ.FT.
 DECK / PATIO: 351 SQ.FT.

DISTURBANCE LIMITS: 51,500 SQ. FT.
 IMPERVIOUS SURFACE AREA WITHIN DISTURBANCE LIMITS: 38,217 SQ.FT.
 PERCENT IMPERVIOUS ON LOT: 74%

Is there work proposed in a public outlet?

Identify the setback distances around the parking area

Recommend wider sidewalk to account for vehicle bumper overhang.

Provide Structural Detail drawing of the Retaining wall on Civil Plan Set, ensuring the entire wall is on this site.

Is there a setback requirement for the parking lot driveway from property line

Provide structural plans for walls on the Civil Plan Set ensure all footings and work remains on the parcel.

Replacement asphalt shall be square clean cut and asphalt lifts shall match 6" HMA pavement requirements

Driveway shall installed Per City Specifications for Commercial Driveways

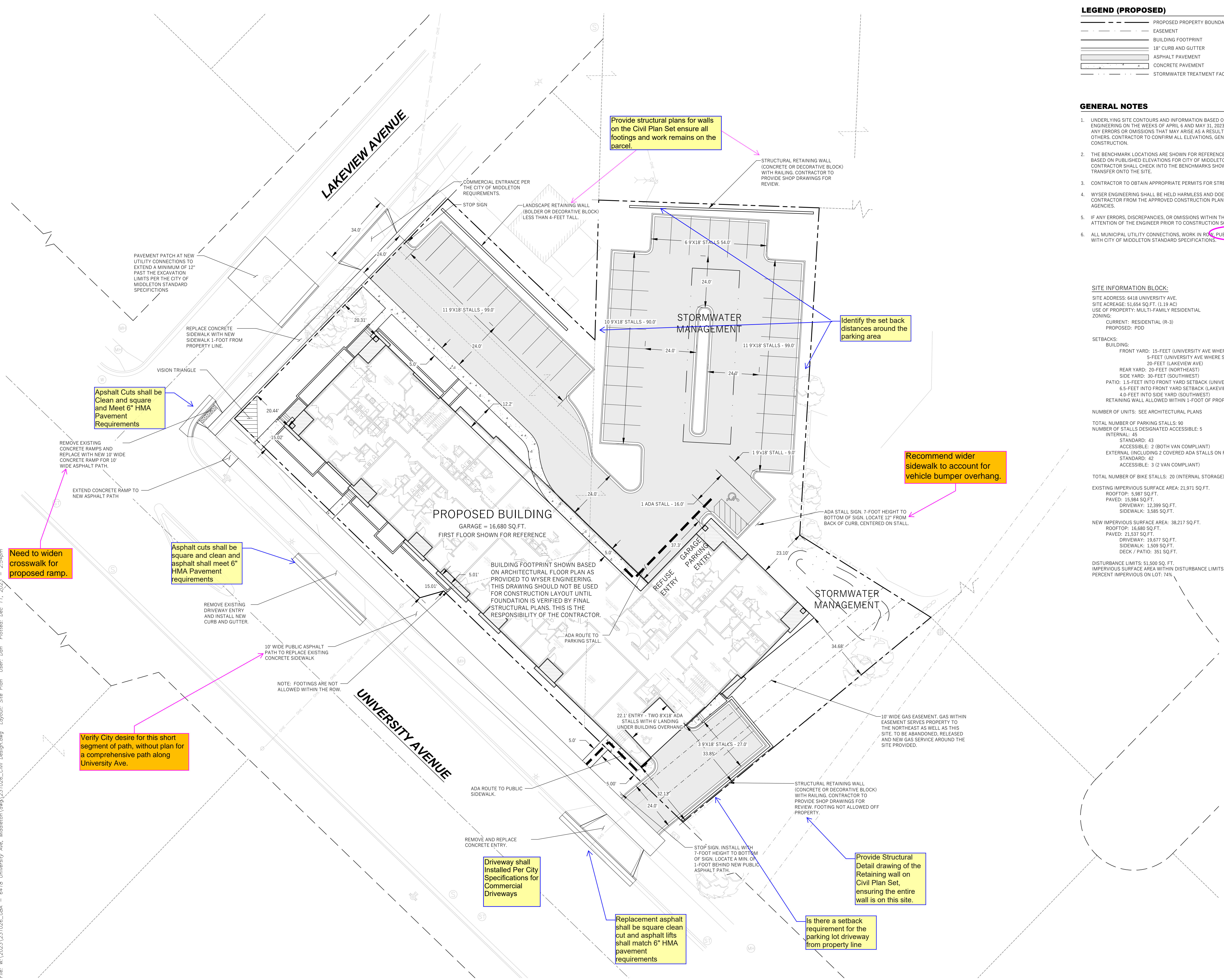
Asphalt Cuts shall be Clean and square and Meet 6" HMA Pavement Requirements

Asphalt cuts shall be square and clean and asphalt shall meet 6" HMA Pavement requirements

Need to widen crosswalk for proposed ramp.

Verify City desire for this short segment of path, without plan for a comprehensive path along University Ave.

File: W:\2023\231026_GBA - 6418 University Ave, Middleton\day\231026_Civil Design.dwg Layout: Site Plan User: Dan Plotlett: Dec 11, 2023 - 2:54pm



CASTLE ROCK REDEVELOPMENT

CITY OF MIDDLETON, DANE COUNTY, WI

6418 UNIVERSITY AVENUE
MIDDLETON, WI 53562

Sheet Title:
SITE PLAN

Revisions:

No.	Date:	Description:

Graphic Scale	0' 5' 10' 20' 30'
Wyser Number	23-1026
Set Type	SIP
Date Issued	12/11/2023
Sheet Number	C100

DIGGERS HOTLINE
 Toll Free (800) 242-8511 -or- 811
 Hearing Impaired TDD (800) 542-2289
 www.DiggersHotline.com

Revisions:

No.	Date:	Description:

Graphic Scale	0' 5' 10' 20' 30'
Wyser Number	23-1026
Set Type	SIP
Date Issued	12/05/2023
Sheet Number	C101

DIGGERS HOTLINE
Toll Free (800) 242-8511 -or- 811
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

LEGEND (PROPOSED)

- SUBJECT PARCEL PROPERTY LINE
- CONSTRUCTION LIMIT LINE
- NEW BUILDING (FOR REFERENCE)
- SAWCUT LIMITS
- ASPHALT ONLY REMOVAL AREA
- GRAVEL REMOVAL AREA
- CONCRETE REMOVAL AREA
- CURB AND GUTTER REMOVAL
- RETAINING WALL REMOVAL AREA
- UTILITY REMOVAL
- TREE REMOVAL

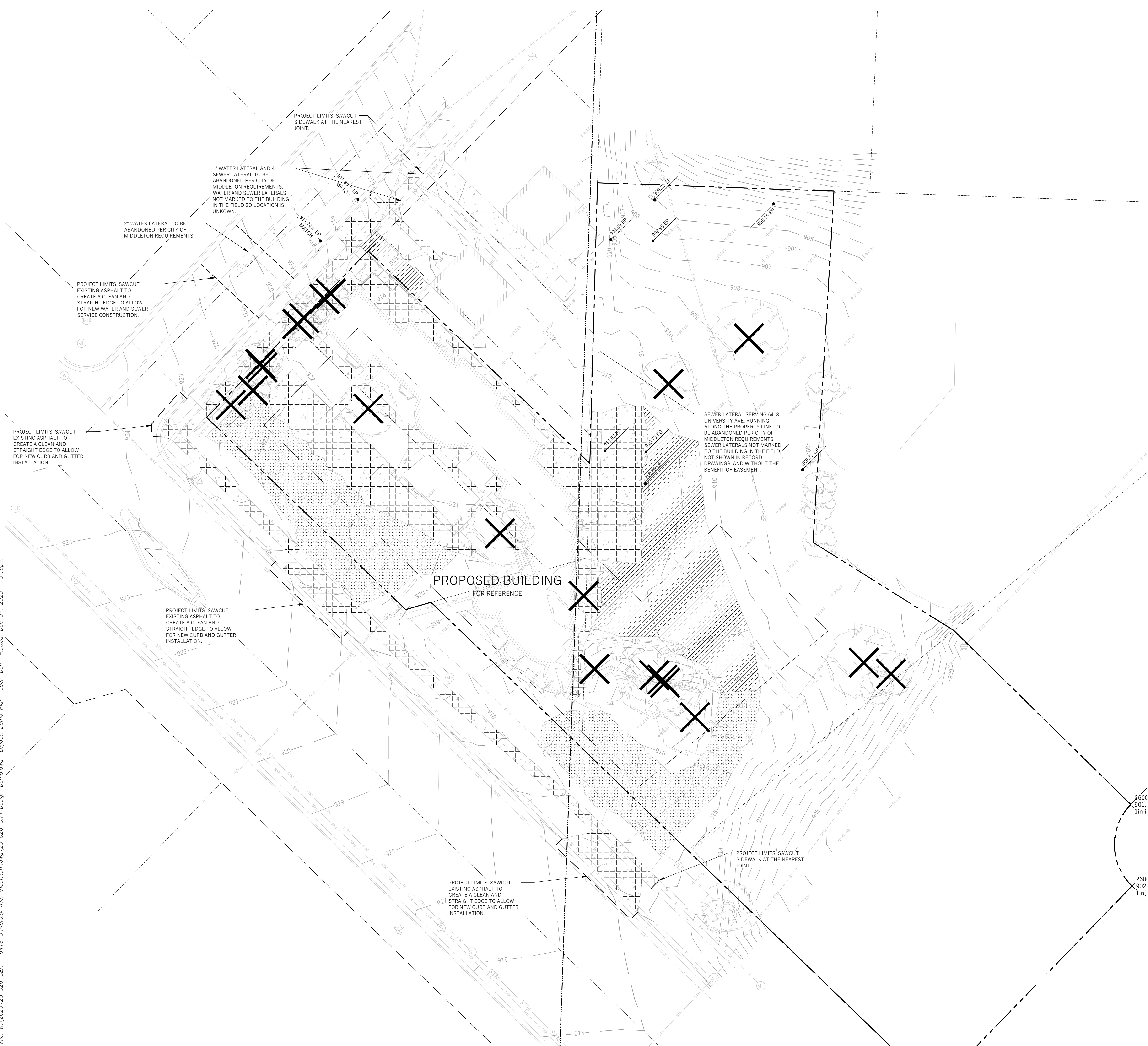


GENERAL NOTES

1. UNDERLYING SITE CONTOURS AND INFORMATION BASED ON TOPOGRAPHIC & UTILITY DATA AS SURVEYED BY WYSER ENGINEERING ON THE WEEKS OF APRIL 6 AND MAY 31, 2023. WYSER ENGINEERING SHALL NOT BE HELD RESPONSIBLE FOR ANY ERRORS OR OMISSIONS THAT MAY ARISE AS A RESULT OF ERRONEOUS OR INCOMPLETE INFORMATION PROVIDED BY OTHERS. CONTRACTOR TO CONFIRM ALL ELEVATIONS, GENERAL DRAINAGE AND EARTHWORK REQUIREMENTS PRIOR TO CONSTRUCTION.
2. THE BENCHMARK LOCATIONS ARE SHOWN FOR REFERENCE ONLY ON THIS PLAN. THE ELEVATIONS FOR THE SURVEY ARE BASED ON PUBLISHED ELEVATIONS FOR CITY OF MIDDLETON HYDRANT H12090. PRIOR TO SETTING SITE ELEVATIONS, THE CONTRACTOR SHALL CHECK INTO THE BENCHMARKS SHOWN. CONTRACTOR ASSUMES RISK ASSOCIATED WITH BENCHMARK TRANSFER ONTO THE SITE.
3. CONTRACTOR TO OBTAIN APPROPRIATE PERMITS FOR STREET OPENINGS & TO WORK WITHIN THE CITY'S LAND IF REQUIRED.
4. WYSER ENGINEERING SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER OR CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY REGULATORY AGENCIES.
5. IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
6. ALL MUNICIPAL UTILITY CONNECTIONS, WORK IN ROW, PUBLIC OUTLOTS AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH CITY OF MIDDLETON STANDARD SPECIFICATIONS.

DEMOLITION NOTES

1. THIS PLAN INDICATES ITEMS ON THE SITE, NOT INCLUDING INTERNAL BUILDING DEMOLITION, INTENDED FOR DEMOLITION BASED ON THE CURRENT SITE DESIGN THAT HAVE BEEN IDENTIFIED BY A REASONABLE OBSERVATION OF THE EXISTING CONDITIONS THROUGH FIELD SURVEY RECONNAISSANCE (BY OTHERS), "DIGGERS HOTLINE" LOCATION, AND GENERAL "STANDARD OF CARE". THERE MAY BE ADDITIONAL ITEMS THAT CAN NOT BE IDENTIFIED BY A REASONABLE ABOVE GROUND OBSERVATION, WHERE NOT INCLUDED WITHIN THE FIELD SURVEY, OF WHICH THE ENGINEER WOULD HAVE NO KNOWLEDGE OR MAY BE A PART OF ANOTHER DESIGN DISCIPLINE. IT IS THE CONTRACTOR'S / BIDDERS RESPONSIBILITY TO REVIEW THE PLANS, INSPECT THE SITE AND PROVIDE HIS OWN DUE DILIGENCE TO INCLUDE IN HIS BID WHAT ADDITIONAL ITEMS, IN HIS OPINION, MAY BE NECESSARY FOR DEMOLITION. ANY ADDITIONAL ITEMS IDENTIFIED BY THE CONTRACTOR / BIDDER SHALL BE IDENTIFIED IN THE BID AND REPORTED TO THE OWNER AND ENGINEER OF RECORD. WYSER ENGINEERING TAKES NO RESPONSIBILITY FOR ITEMS ON THE PROPERTY THAT COULD NOT BE LOCATED BY A REASONABLE OBSERVATION OF THE PROPERTY OR OF WHICH THEY WOULD HAVE NO KNOWLEDGE.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - 2.1. EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE OWNER AND ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - 2.2. VERIFYING UTILITY ELEVATIONS AND NOTIFYING OWNER AND ENGINEER OR ANY DISCREPANCIES. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCIES ARE RESOLVED.
 - 2.3. NOTIFYING ALL UTILITIES PRIOR TO THE REMOVAL OF ANY UNDERGROUND UTILITIES.
 - 2.4. NOTIFYING THE OWNER, DESIGN ENGINEER AND LOCAL CONTROLLING MUNICIPALITY 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION INSPECTION.
3. CONTRACTOR IS SOLELY RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF THESE IMPROVEMENTS.
4. CONTRACTOR SHALL KEEP ALL STREETS AND ADJOINING SHARED ACCESS ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION RELATED DIRT, DUST AND DEBRIS.
5. ALL TREES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED UNLESS SPECIFICALLY CALLED OUT FOR PROTECTION. ALL TREES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY. STUMPS SHALL BE GROUND TO PROPOSED SUBGRADE.
6. PERFORM TREE PRUNING IN ALL LOCATIONS WHERE PROPOSED PAVEMENT AND / OR UTILITY INSTALLATION ENCRoACH WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN. ALL TRENCHING WITHIN THE EXISTING DRIP LINE OF THE TREES TO REMAIN SHALL BE DONE RADIALLY AWAY FROM THE TRUNK IF ROOTS IN EXCESS OF 1" DIAMETER ARE EXPOSED. ROOTS MUST BE CUT BY REPUTABLE TREE PRUNING SERVICE PRIOR TO ANY TRANSVERSE TRENCHING.
7. ALL LIGHT POLES TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY, INCLUDING BASE AND ALL APPURTENANCES. SALVAGE FOR RELOCATION, COORDINATE RELOCATION AND / OR ABANDONMENT OF ALL ELECTRIC LINES WITH ELECTRICAL ENGINEER AND OWNER PRIOR TO DEMOLITION.
8. CONTRACTOR SHALL COORDINATE PRIVATE UTILITY REMOVAL / ABANDONMENT AND NECESSARY RELOCATIONS WITH RESPECTIVE UTILITY COMPANY. COORDINATION REQUIRED PRIOR TO CONSTRUCTION.
9. ABANDONED / REMOVED ITEMS SHALL BE DISPOSED OF OFF SITE UNLESS OTHERWISE NOTED.
10. THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVERNIGHT AS REQUIRED.
11. CONTRACTOR TO REMOVE EXISTING UTILITY PIPE AND BACKFILL WITH SELECT FILL OR PROVIDE PIPE BACK-FILLING WITHIN BUILDING FOOTPRINT USING "LOW DENSITY CONCRETE / FLOWABLE FILL".
12. GRANULAR BACKFILL MATERIALS ARE REQUIRED FOR FILL UNDER PROPOSED PAVED AREAS.
13. RESTORATION OF THE EXISTING RIGHT-OF-WAYS AS NEEDED ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS, DEMOLITION AND REMOVAL. THIS INCLUDES, BUT IS NOT LIMITED TO, CURB & GUTTER, SIDEWALK, TOPSOIL, SEEDING AND MULCHING.
14. ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.



File: W:\2023\231026_GBA - 6418 University Ave. Middleton.dwg\231026_Civil_Design_Demo.dwg Layout: Demo Plan User: Dan Plotdate: Dec 04, 2023 - 3:59pm

TABLE 1

SIEVE SIZE	PERCENT BY WEIGHT PASSING
3"	100
2-1/2"	90-100
1-1/2"	25-60
3/4"	0-20
3/8"	0-5

MATERIAL NOTES

- USE HARD, DURABLE, ANGULAR STONE OR RECYCLED CONCRETE MEETING THE GRADATION IN TABLE 1. WHERE THIS GRADATION IS NOT AVAILABLE, MEET THE GRADATION IN WISCONSIN DEPARTMENT OF TRANSPORTATION (DOT) STANDARD SPECIFICATION, SECTION 312 SELECT CRUSHED MATERIAL. USE MATERIAL SUBSTANTIALLY FREE FROM DIRT, DEBRIS, STEEL, VEGETABLE MATTER, AND OTHER DELETERIOUS MATERIAL. PLACE THE AGGREGATE IN A LAYER AT LEAST 12 INCHES THICK.
- THE TRACKING PAD SHALL BE UNDERLAIN WITH A WDOT TYPE R GEOTEXTILE FABRIC WHERE WARRANTED BASED ON SOIL TYPE OR HIGH GROUNDWATER.
- INSTALLATION SHALL CONFORM WITH THE REQUIREMENTS OF WDNR CONSERVATION PRACTICE STANDARD 1057.
- INSTALL THE TRACKING PAD ACROSS THE FULL WIDTH OF THE ACCESS POINT, OR RESTRICT EXITING TRAFFIC TO A DEDICATED EGRESS LANE WITH A DRIVING SURFACE AT LEAST 12 FEET WIDE.
- DIMENSIONS OF THE TRACKING PAD SHALL BE MINIMUM AS NOTED ON THE FIGURE ABOVE.
- DIVERT SURFACE FLOWS AWAY FROM TRACKING PADS OR CONVEY FLOW UNDER AND/OR AROUND USING CULVERTS AND SWALES. DIRECT RUNOFF FROM TRACKING PADS TO SEDIMENT CONTROL PRACTICES.
- DO NOT COMPACT AGGREGATE PRIOR TO USE. COMPACTION, GROUTING, OR OTHER MEANS OF CREATING A SMOOTH SURFACE COMPROMISE THE EFFECTIVENESS OF THE TRACKING PAD.
- TRACKING PAD SHALL BE REMOVED OR INCORPORATED INTO GRAVEL DRIVEWAY ONLY AFTER CONSTRUCTION IS COMPLETE AND THE SITE HAS BEEN STABILIZED.

INSPECTION & MAINTENANCE NOTES

- STONE TRACKING PADS SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS AFTER EVERY PRECIPITATION EVENT THAT PRODUCES 0.5 INCHES OF RAIN OR MORE DURING A 24 HOUR PERIOD.
- MONITOR AND MAINTAIN DEVICES TO MINIMIZE SHIFTING, RUTTING OF ADJACENT SURFACES, AND STRUCTURAL FAILURE. MAINTAIN A LOOSE, ROUGH SURFACE BY SCRAPING, LOOSENING, OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
- ADDITIONAL AGGREGATE SHALL BE PLACED IF THE TRACKING PAD BECOMES BURIED OR IF SEDIMENT IS NOT BEING REMOVED EFFECTIVELY FROM THE VEHICLE TIRES.
- A MINIMUM 30-FOOT WIDE BY 50-FOOT LONG BY 12-INCH THICK PAD SHALL BE MAINTAINED AT ALL TIMES. ADD STONE AS NEEDED TO MAINTAIN THE MINIMUM PAD THICKNESS.
- THE TRACKING PAD PERFORMANCE SHALL BE MAINTAINED BY SCRAPING OR TOP-DRESSING WITH ADDITIONAL AGGREGATE.
- ANY SEDIMENT TRACKED ONTO A PUBLIC OR PRIVATE ROAD SHOULD BE REMOVED BY STREET CLEANING AT THE END OF EACH WORKING DAY.
- REMOVE STONES LODGED BETWEEN THE TIRES OF DUAL WHEEL VEHICLES PRIOR TO LEAVING THE CONSTRUCTION SITE.
- MAINTENANCE SHALL BE COMPLETED AS SOON AS POSSIBLE WITH CONSIDERATION FOR SITE CONDITIONS.
- REPLACE DAMAGED OR CRUSHED CULVERTS UNDER TRACKING PAD.

CONSTRUCTION ENTRANCE (STONE TRACKING PAD)

MATERIAL NOTES

- GEOTEXTILE FABRIC SHALL BE WOVEN AND SHALL CONFORM TO THE MATERIAL REQUIREMENTS LISTED IN SECTION 628 OF THE WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, 2003 EDITION.

INSTALLATION NOTES

- INSTALLATION SHALL CONFORM WITH THE REQUIREMENTS OF WDNR CONSERVATION PRACTICE STANDARD 1056.
- CONSTRUCT THE SILT FENCE IN AN ARC WITH THE ENDS POINTING UPSLOPE TO AVOID EROSION AROUND THE ENDS OF THE FENCE.
- A FAILURE TO PROPERLY ANCHOR SILT FENCE COULD RESULT IN WATER AND SEDIMENT RELEASE BENEATH THE SILT FENCE. PROPERLY SECURE THE SILT FENCE INTO THE ANCHOR TRENCH.
- CONSTRUCT THE FENCE FROM A CONTINUOUS ROLL OF GEOTEXTILE TO AVOID JOINTS. WHERE JOINTS ARE NECESSARY, OVERLAP TO THE NEXT POST OR WRAP ADJOINING FABRICS TOGETHER AROUND THE JOINT POST AND TIGHTLY FASTEN.
- SILT FENCE SHALL NOT BE USED IN AREAS OF CONCENTRATED FLOW.

INSPECTION & MAINTENANCE NOTES

- AT A MINIMUM, PERFORM INSPECTIONS WEEKLY AND WITHIN 24 HOURS OF PRECIPITATION EVENTS PRODUCING 0.5 INCHES OR MORE OF RAINFALL.
- INSPECT FENCES FOR DAMAGE TO STAKES AND FABRIC, UNDERCUTTING, EXCESSIVE SEDIMENT ACCUMULATION (GREATER THAN 1/2 OF THE FENCE HEIGHT), AND INDICATIONS OF SCOUR AROUND THE EDGES.
- REPAIR OR REPLACE SILT FENCE WITHIN 24 HOURS OF IDENTIFYING AND DEFICIENCIES.

PAVEMENT SECTIONS

ADA RAMP
PERPENDICULAR TO DRIVE

ANCHOR TRENCH DETAIL
SEE PLANS FOR ANCHOR TRENCH LOCATIONS

BLANKET OVERLAP: 2'-4"
STAPLES ARE THROUGH BOTH BLANKETS

TRENCH APPROX. 10" WIDE x 8" DEEP

SOIL PILE FROM TRENCH

STEP 1: 2 ROWS OF STAPLES: 4" SPACING BETWEEN ROWS, 12" SPACING BETWEEN STAPLES

STEP 2: 2 ROWS OF STAPLES: 4" SPACING BETWEEN ROWS, 12" SPACING BETWEEN STAPLES

6" OVERLAP
2 ROWS OF STAPLES 4" APART

CHANNEL TERMINATION TWO ROWS OF STAPLES 4" APART OFFSET BY 3"

GENERAL STAPLE PATTERN:
USE MANUFACTURER'S RECOMMENDATIONS. MAXIMUM DISTANCE BETWEEN STAPLES IS 4 FEET.

MATERIAL NOTES

- ONLY PRODUCTS LISTED IN THE WISCONSIN DEPARTMENT OF TRANSPORTATION EROSION CONTROL PRODUCT ACCEPTABILITY LIST (PAL) ARE ACCEPTABLE FOR USE.
- STAPLES USED FOR CLASS 1 TYPES A & B MATS SHALL BE 1-2 INCH WIDE, U-SHAPED, MADE OF NO. 11 (3.05mm) OR LARGER DIAMETER STEEL WIRE, AND NOT LESS THAN 6 INCHES LONG FOR FIRM SOILS AND 12 INCHES LONG FOR LOOSE SOILS.

RECOMMENDATIONS. THIS STANDARD DETAIL IS AN EXAMPLE OF TYPICAL INSTALLATION GUIDANCE.

- MATS SHALL BE IN FIRM AND CONTINUOUS CONTACT WITH THE SOIL.
- IF SECTIONS OF ECRM NEED TO BE OVERLAPPED, ENSURE THAT THE OVERLAP IS FACING DOWNSTREAM TO PREVENT WATER FROM FLOWING BENEATH THE ECRM.

INSPECTION & MAINTENANCE NOTES

- INSTALL ADDITIONAL ANCHORING IN AREAS OF OBSERVED RILLING AND CONCENTRATED FLOW BENEATH THE EROSION MAT. IF RILLING IS SEVERE ENOUGH TO PREVENT VEGETATION ESTABLISHMENT, REMOVE EROSION MAT, REGRADE, COMPACT, RE-SEED, AND REPLACE THE SECTION OF MAT.
- IF PRODUCTS WITH PLASTIC NETTING ARE USED, REMOVE NETTING OR REPLACE MAT IF SEPARATION OF THE NETTING FROM THE MAT IS OBSERVED.
- ALL MAINTENANCE ACTIVITIES SHOULD OCCUR AS SOON AS POSSIBLE WITH CONSIDERATION OF SITE CONDITIONS.

INSTALLATION NOTES

- EROSION CONTROL REVEGETATIVE MATS (ECRM) SHALL BE INSTALLED AFTER TOPSOIL AND SEED HAVE BEEN PLACED.
- INSTALLATION OF ECRM SHOULD BE COORDINATED WITH PERMANENT RESTORATION PRACTICES.
- INSTALLATION SHALL CONFORM WITH WDNR CONSERVATION PRACTICE STANDARD 1053.
- ALL PRODUCTS SHALL BE INSTALLED PER THE MANUFACTURER'S

MATERIAL	THICKNESS	SPECIFICATION
BITUMINOUS UPPER LAYER	1.75"	SECTION 460, TABLE 460-1, 9.5 MM
BITUMINOUS LOWER LAYER	2.25"	SECTION 460, TABLE 460-1, 12.5 MM
DENSE GRADED BASE	12.0"	SECTION 301 AND 305, 31.5 MM
TOTAL THICKNESS	16.0"	

- SPECIFICATIONS BASED ON GEOTECHNICAL REPORT AS PREPARED BY XXXX, DATED XXXXX, 2023. IF ANY DISCREPANCY BETWEEN THIS DETAIL AND THE GEOTECHNICAL REPORT IS FOUND, THE GEOTECHNICAL REPORT HOLDS.
- REFERENCED SPECIFICATION IS WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, LATEST EDITION, INCLUDING SUPPLEMENT SPECIFICATIONS, BUT EXCLUDING SECTION 460.3.2 RELATING LAYER THICKNESS TO AGGREGATE SIZE.
- COMPACTION REQUIREMENTS
 - BITUMINOUS CONCRETE: REFER TO SECTION 460-3.
 - BASE COURSE: REFER TO SECTION 301.3.4.2, STANDARD COMPACTION
- MIXTURE TYPE LT 58-28 S BITUMINOUS PAVEMENT IS RECOMMENDED, REFER TO SECTION 460, TABLE 460-2 OF THE STANDARD SPECIFICATIONS.

CROSS SECTION A-A

1) JOINT TIES SHALL BE INSTALLED AT THE LAST (DOWNSTREAM) TWO JOINTS ON ANY PIPE RUN ENDING IN AN APRON ENDWALL

CROSS SECTION B-B

STRUCTURE	W	L	DEPTH	TYPE
STM AE NO. X	X	X	X	MEDIUM RIPRAP
STM AE NO. X	X	X	X	LIGHT RIPRAP

RIP RAP AND ENDWALL

INSET

LENGTH AND WIDTH DIMENSIONS SHALL BE PER INLET TYPE SPECIFIED ON PLAN

HANGERS (SEE NOTE #5)

AVAILABLE OVERFLOW DEPTH

RIGID FRAME (SEE NOTES #2 AND #3)

TYPE FF GEOTEXTILE FABRIC

NON-WOVEN INNER BAG LINER (COVERING LOWER HALF OF BAG)

REPLACEABLE FILTER BAG (22" MIN. TOTAL DEPTH) DUAL FABRIC BAGS SHALL BE STITCHED TOGETHER.

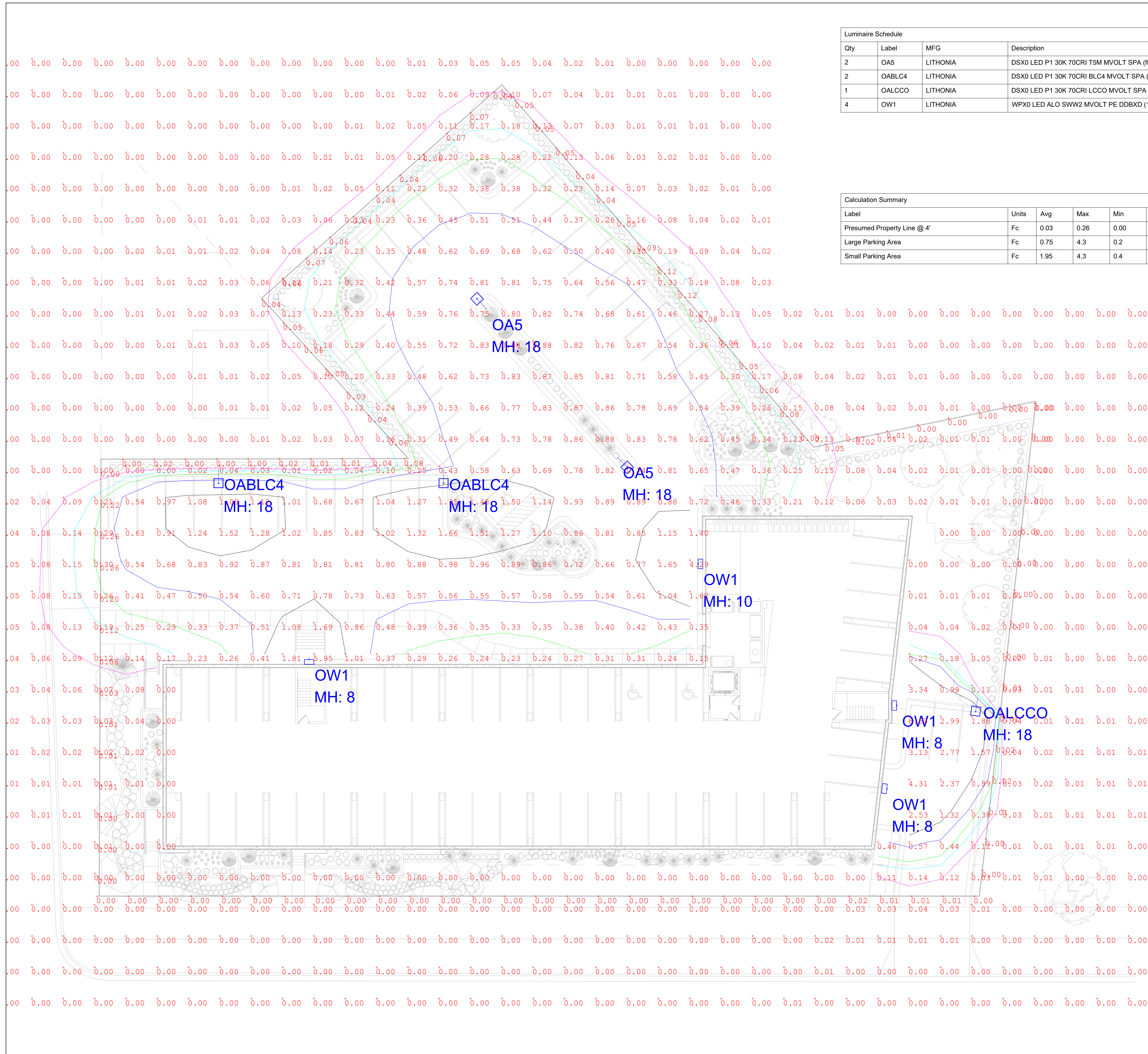
12" MIN.

CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES

MAINTENANCE NOTES:

- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARS SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE STRUCTURE SHALL BE IMMEDIATELY REMOVED.

TYPE D-RF INLET PROTECTION



Luminaire Schedule						
Qty	Label	MFG	Description	LLF	Lum. Watts	Total Watts
2	OA5	LITHONIA	DSX0 LED P1 30K 70CRI TSM MVOLT SPA (finish) + 16' POLE + 2' BASE	0.950	34	68
2	OALCCO	LITHONIA	DSX0 LED P1 30K 70CRI BLC4 MVOLT SPA (finish) + 16' POLE + 2' BASE	0.950	34	68
1	OALCCO	LITHONIA	DSX0 LED P1 30K 70CRI LCCO MVOLT SPA (finish) + 16' POLE + 2' BASE	0.950	34	34
4	OW1	LITHONIA	WPX0 LED ALO S1W2 MVOLT PE DDBXD (1200LM)	0.950	9.2	36.8

Calculation Summary						
Label	Units	Avg	Max	Min	Max/Min	Avg/Min
Presumed Property Line @ 4'	Fc	0.03	0.26	0.00	N.A.	N.A.
Large Parking Area	Fc	0.75	4.3	0.2	21.50	3.75
Small Parking Area	Fc	1.95	4.3	0.4	10.75	4.88



COMMENTS	
DATE	
#	
REVISIONS	

DRAWN BY : JT	DATE : 6-19-2023	SCALE : 1/16" = 1'
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UNIVERSITY AVENUE APARTMENTS	MADISON, WI	SITE LIGHTING LAYOUT
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D-Series Size 0 LED Area Luminaire



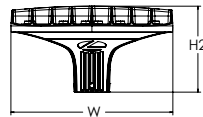
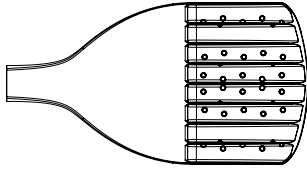
Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

d[#]series

Specifications

EPA:	0.44 ft ² (0.04 m ²)
Length:	26.18" (66.5 cm)
Width:	14.06" (35.7 cm)
Height H1:	2.26" (5.7 cm)
Height H2:	7.46" (18.9 cm)
Weight:	23 lbs (10.4 kg)



Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature ²	Color Rendering Index ²	Distribution	Voltage	Mounting	
DSX0 LED	Forward optics P1 P5 P2 P6 P3 P7 P4	(this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K	70CRI 70CRI 70CRI	AFR Automotive front row T1S Type I short T2M Type II medium T3M Type III medium T3LG Type III low glare ³ T4M Type IV medium T4LG Type IV low glare ³ TFTM Forward throw medium	T5M Type V medium T5LG Type V low glare T5W Type V wide BLC3 Type III backlight control ³ BLC4 Type IV backlight control ³ LCCO Left corner cutoff ³ RCCO Right corner cutoff ³	MVOLT (120V-277V) ⁴ HVOLT (347V-480V) ^{5,6} XVOLT (277V-480V) ^{7,8}	Shipped included SPA Square pole mounting (#8 drilling, 3.5" min. SQ pole) RPA Round pole mounting (#8 drilling, 3" min. RND pole) SPA5 Square pole mounting (#5 drilling, 3" min. SQ pole) ⁹ RPA5 Round pole mounting (#5 drilling, 3" min. RND pole) ⁹ SPA8N Square narrow pole mounting (#8 drilling, 3" min. SQ pole) WBA Wall bracket ¹⁰
	Rotated optics P10 ¹ P12 ¹ P11 ¹ P13 ¹	(this section 80CRI only, extended lead times apply) 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K	80CRI 80CRI 80CRI 80CRI 80CRI				

Control options	Other options	Finish (required)
<p>Shipped installed</p> <p>NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc.^{11,12,18,19}</p> <p>PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc.^{13,18,19}</p> <p>PER NEMA twist-lock receptacle only (controls ordered separate)¹⁴</p> <p>PER5 Five-pin receptacle only (controls ordered separate)^{14,19}</p> <p>PER7 Seven-pin receptacle only (controls ordered separate)^{14,19}</p> <p>FAO Field adjustable output^{15,19}</p> <p>BL30 Bi-level switched dimming, 30%^{16,19}</p> <p>BL50 Bi-level switched dimming, 50%^{16,19}</p> <p>DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately)¹⁷</p>	<p>Shipped installed</p> <p>HS Houseside shield (black finish standard)²⁰</p> <p>L90 Left rotated optics¹</p> <p>R90 Right rotated optics¹</p> <p>CCE Coastal Construction²¹</p> <p>Shipped separately</p> <p>EGS External Glare Shield (reversible, field install required, matches housing finish)</p> <p>BS Bird Spikes (field install required)</p>	<p>DDBXD Dark Bronze</p> <p>DBLXD Black</p> <p>DNAXD Natural Aluminum</p> <p>DWHXD White</p> <p>DDBTXD Textured dark bronze</p> <p>DBLTXD Textured black</p> <p>DNATXD Textured natural aluminum</p> <p>DWHGXD Textured white</p>



Ordering Information

Accessories

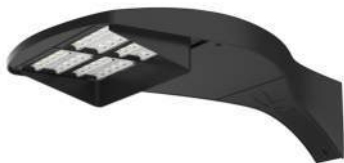
Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²²
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²²
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²²
DSHORT SBK	Shorting cap ²²
DSX0HS 20C	House-side shield for P1, P2, P3 and P4 ²⁰
DSX0HS 30C	House-side shield for P10, P11, P12 and P13 ²⁰
DSX0HS 40C	House-side shield for P5, P6 and P7 ²⁰
DSXRPA (FINISH)	Round pole adapter (#8 drilling, specify finish)
DSXRPA5 (FINISH)	Round pole adapter #5 drilling (specify finish)
DSXSPA5 (FINISH)	Square pole adapter #5 drilling (specify finish)
DSX0EGS (FINISH)	External glare shield

NOTES

- 1 Rotated optics available with packages P10, P11, P12 and P13. Must be combined with option L90 or R90.
- 2 30K, 40K, and 50K available in 70CRI and 80CRI. 27K and 35K only available with 80CRI. Contact Technical Support for other possible combinations.
- 3 T3LG, T4LG, BLC3, BLC4, LCCO, RCCO not available with option HS.
- 4 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 5 HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- 6 HVOLT not available with package P1, P2 and P10 when combined with option NLTAIR2 PIRHN or option PIR.
- 7 XVOLT operates with any voltage between 277V and 480V (50/60 Hz).
- 8 XVOLT not available in packages P1, P2 or P10.
- 9 SPAS and RPA5 for use with #5 drilling only (Not for use with #8 drilling).
- 10 WBA cannot be combined with Type 5 distributions plus photocell (PER).
- 11 NLTAIR2 and PIRHN must be ordered together. For more information on nLight Air 2.
- 12 NLTAIR2 PIRHN not available with other controls including PIR, PER, PER5, PER7, FAO, BL30, BL50 and DMG. NLTAIR2 PIRHN not available with P1, P2 and P10 using HVOLT. NLTAIR2 PIRHN not available with P1, P2 and P10 using XVOLT.
- 13 PIR not available with NLTAIR2, PER, PER5, PER7, FAO BL30, BL50 and DMG. PIR not available with P1, P2 and P10 using HVOLT. PIR not available with P1, P2 and P10 using XVOLT.
- 14 PER/PER5/PER7 not available with NLTAIR2, PIR, BL30, BL50. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- 15 FAO not available with other dimming control options NLTAIR2 PIRHN, PIR, PER5, PER7, BL30, BL50, or DMG.
- 16 BL30 and BL50 are not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, FAO and DMG.
- 17 DMG not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50 and FAO.
- 18 Reference Motion Sensor Default Settings table on page 4 to see functionality.
- 19 Reference Controls Options table on page 4.
- 20 Option HS not available with T3LG, T4LG, BLC3, BLC4, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- 21 CCE option not available with option BS and EGS. Contact Technical Support for availability.
- 22 Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.

Shield Accessories



External Glare Shield (EGS)

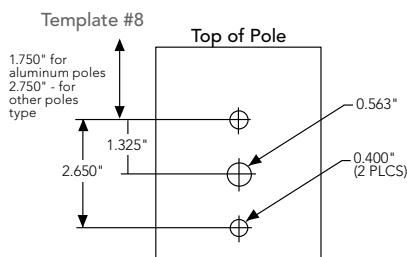
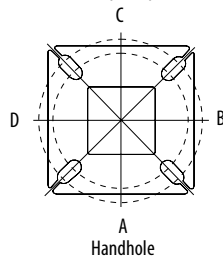


House Side Shield (HS)

Drilling

HANDHOLE ORIENTATION

(from top of pole)



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	3.5"	3.5"	3.5"	3.5"	3"	3.5"
RPA	#8	3"	3"	3"	3"	3"	3"
SPAS	#5	3"	3"	3"	3"	3"	3"
RPA5	#5	3"	3"	3"	3"	3"	3"
SPA8N	#8	3"	3"	3"	3"	3"	3"

DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX0 with SPA	0.44	0.88	0.96	1.18	---	1.16
DSX0 with SPAS, SPA8N	0.51	1.02	1.06	1.26	---	1.29
DSX0 with RPA, RPA5	0.51	1.02	1.06	1.26	1.24	1.29
DSX0 with MA	0.64	1.28	1.24	1.67	1.70	1.93

Isofootcandle plots for the DSX0 LED P7 40K 70CRI. Distances are in units of mounting height (20').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier	
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°C	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.94
50,000	0.89
100,000	0.80

FAO Dimming Settings

FAO Position	% Wattage	% Lumen Output
8	100%	100%
7	93%	95%
6	80%	85%
5	66%	73%
4	54%	61%
3	41%	49%
2	29%	36%
1	15%	20%

*Note: Calculated values are based on original performance package data. When calculating new values for given FAO position, use published values for each package based on input watts and lumens by optic type.

Electrical Load

	Performance Package	LED Count	Drive Current (mA)	Wattage	Current (A)					
					120V	208V	240V	277V	347V	480V
Forward Optics (Non-Rotated)	P1	20	530	34	0.28	0.16	0.14	0.12	0.10	0.07
	P2	20	700	45	0.38	0.22	0.19	0.16	0.13	0.09
	P3	20	1050	69	0.57	0.33	0.29	0.25	0.20	0.14
	P4	20	1400	94	0.78	0.45	0.39	0.34	0.27	0.19
	P5	40	700	89	0.75	0.43	0.38	0.33	0.26	0.19
	P6	40	1050	136	1.14	0.66	0.57	0.49	0.39	0.29
	P7	40	1300	170	1.42	0.82	0.71	0.62	0.49	0.36
Rotated Optics (Requires L90 or R90)	P10	30	530	51	0.42	0.24	0.21	0.18	0.15	0.11
	P11	30	700	67	0.57	0.33	0.28	0.25	0.20	0.14
	P12	30	1050	103	0.86	0.50	0.43	0.37	0.30	0.22
	P13	30	1300	129	1.07	0.62	0.54	0.46	0.37	0.27

LED Color Temperature / Color Rendering Multipliers

	70 CRI		80CRI		90CRI	
	Lumen Multiplier	Availability	Lumen Multiplier	Availability	Lumen Multiplier	Availability
5000K	102%	Standard	92%	Extended lead-time	71%	(see note)
4000K	100%	Standard	92%	Extended lead-time	67%	(see note)
3500K	100%	(see note)	90%	Extended lead-time	63%	(see note)
3000K	96%	Standard	87%	Extended lead-time	61%	(see note)
2700K	94%	(see note)	85%	Extended lead-time	57%	(see note)

Note: Some LED types are available as per special request. Contact Technical Support for more information.

Motion Sensor Default Settings

Option	Unoccupied Dimmed Level	High Level (when occupied)	Photocell Operation	Dwell Time	Ramp-up Time	Dimming Fade Rate
PIR	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min
NLTAIR2 PIRHN	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS (not available on DSX0)	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire. Cannot be used with other controls options that need the 0-10V leads.
PIR	Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height.	Luminaires dim when no occupancy is detected.	Acuity Controls rSBG	Cannot be used with other controls options that need the 0-10V leads.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSBG	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. Cannot be used with other controls options that need the 0-10V leads.
BL30 or BL50	Integrated bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output	BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit	BLC UVOLT1	BLC device is powered off the 0-10V dimming leads, thus can be used with any input voltage from 120 to 480V

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
LED Count	Drive Current (mA)	Performance Package	System Watts	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
20	530	P1	33W	T1S	4,906	1	0	1	148	5,113	1	0	1	154	5,213	1	0	1	157
				T2M	4,545	1	0	2	137	4,736	1	0	2	143	4,829	1	0	2	145
				T3M	4,597	1	0	2	138	4,791	1	0	2	144	4,885	1	0	2	147
				T3LG	4,107	1	0	1	124	4,280	1	0	1	129	4,363	1	0	1	131
				T4M	4,666	1	0	2	141	4,863	1	0	2	146	4,957	1	0	2	149
				T4LG	4,244	1	0	1	128	4,423	1	0	1	133	4,509	1	0	1	136
				TFTM	4,698	1	0	2	141	4,896	1	0	2	147	4,992	1	0	2	150
				T5M	4,801	3	0	1	145	5,003	3	0	1	151	5,101	3	0	1	154
				T5W	4,878	3	0	1	147	5,084	3	0	2	153	5,183	3	0	2	156
				T5LG	4,814	2	0	1	145	5,018	2	0	1	151	5,115	2	0	1	154
				BLC3	3,344	0	0	1	101	3,485	0	0	1	105	3,553	0	0	1	107
				BLC4	3,454	0	0	2	104	3,599	0	0	2	108	3,670	0	0	2	111
				RCCO	3,374	0	0	1	102	3,517	0	0	1	106	3,585	0	0	1	108
				LCCO	3,374	0	0	1	102	3,517	0	0	1	106	3,585	0	0	1	108
				AFR	4,906	1	0	1	148	5,113	1	0	1	154	5,213	1	0	1	157
				20	700	P2	45W	T1S	6,328	1	0	1	140	6,595	1	0	1	146	6,724
T2M	5,862	1	0					2	130	6,109	1	0	2	135	6,228	1	0	2	138
T3M	5,930	1	0					3	131	6,180	1	0	3	137	6,301	1	0	3	140
T3LG	5,297	1	0					1	117	5,521	1	0	1	122	5,628	1	0	1	125
T4M	6,018	1	0					3	133	6,272	1	0	3	139	6,395	1	0	3	142
T4LG	5,474	1	0					1	121	5,705	1	0	1	126	5,816	1	0	1	129
TFTM	6,060	1	0					3	134	6,316	1	0	3	140	6,439	1	0	3	143
T5M	6,192	3	0					1	137	6,453	3	0	2	143	6,579	3	0	2	146
T5W	6,293	3	0					2	139	6,558	3	0	2	145	6,686	3	0	2	148
T5LG	6,210	2	0					1	138	6,472	3	0	1	143	6,598	3	0	1	146
BLC3	4,313	0	0					2	96	4,495	0	0	2	100	4,583	0	0	2	102
BLC4	4,455	0	0					2	99	4,643	0	0	2	103	4,733	0	0	2	105
RCCO	4,352	0	0					2	96	4,536	0	0	2	100	4,624	0	0	2	102
LCCO	4,352	0	0					2	96	4,536	0	0	2	100	4,624	0	0	2	102
AFR	6,328	1	0					1	140	6,595	1	0	1	146	6,724	1	0	1	149
20	1050	P3	69W					T1S	9,006	1	0	2	131	9,386	1	0	2	136	9,569
				T2M	8,343	2	0	3	121	8,694	2	0	3	126	8,864	2	0	3	129
				T3M	8,439	2	0	3	122	8,795	2	0	3	128	8,967	2	0	3	130
				T3LG	7,539	1	0	2	109	7,857	1	0	2	114	8,010	1	0	2	116
				T4M	8,565	2	0	3	124	8,926	2	0	3	129	9,100	2	0	3	132
				T4LG	7,790	1	0	2	113	8,119	1	0	2	118	8,277	1	0	2	120
				TFTM	8,624	1	0	3	125	8,988	1	0	3	130	9,163	2	0	3	133
				T5M	8,812	3	0	2	128	9,184	4	0	2	133	9,363	4	0	2	136
				T5W	8,955	4	0	2	130	9,333	4	0	2	135	9,515	4	0	2	138
				T5LG	8,838	3	0	1	128	9,211	3	0	1	134	9,390	3	0	1	136
				BLC3	6,139	0	0	2	89	6,398	0	0	2	93	6,522	0	0	2	95
				BLC4	6,340	0	0	3	92	6,607	0	0	3	96	6,736	0	0	3	98
				RCCO	6,194	1	0	2	90	6,455	1	0	2	94	6,581	1	0	2	95
				LCCO	6,194	1	0	2	90	6,455	1	0	2	94	6,581	1	0	2	95
				AFR	9,006	1	0	2	131	9,386	1	0	2	136	9,569	1	0	2	139
				20	1400	P4	93W	T1S	11,396	1	0	2	122	11,877	1	0	2	128	12,109
T2M	10,557	2	0					3	113	11,003	2	0	3	118	11,217	2	0	3	121
T3M	10,680	2	0					3	115	11,130	2	0	3	120	11,347	2	0	3	122
T3LG	9,540	1	0					2	103	9,942	1	0	2	107	10,136	1	0	2	109
T4M	10,839	2	0					3	117	11,296	2	0	3	121	11,516	2	0	4	124
T4LG	9,858	1	0					2	106	10,274	1	0	2	110	10,474	1	0	2	113
TFTM	10,914	2	0					3	117	11,374	2	0	3	122	11,596	2	0	3	125
T5M	11,152	4	0					2	120	11,622	4	0	2	125	11,849	4	0	2	127
T5W	11,332	4	0					3	122	11,811	4	0	3	127	12,041	4	0	3	129
T5LG	11,184	3	0					1	120	11,656	3	0	2	125	11,883	3	0	2	128
BLC3	7,768	0	0					2	83	8,096	0	0	2	87	8,254	0	0	2	89
BLC4	8,023	0	0					3	86	8,362	0	0	3	90	8,524	0	0	3	92
RCCO	7,838	1	0					2	84	8,169	1	0	2	88	8,328	1	0	2	90
LCCO	7,838	1	0					2	84	8,169	1	0	2	88	8,328	1	0	2	90
AFR	11,396	1	0					2	122	11,877	1	0	2	128	12,109	2	0	2	130

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

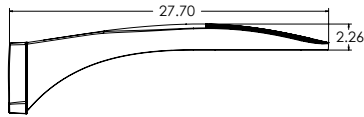
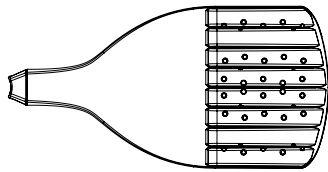
Forward Optics																			
LED Count	Drive Current (mA)	Performance Package	System Watts	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
40	700	P5	90W	T1S	12,380	2	0	2	137	12,902	2	0	2	143	13,154	2	0	2	146
				T2M	11,468	2	0	3	127	11,952	2	0	3	133	12,185	2	0	3	135
				T3M	11,601	2	0	3	129	12,091	2	0	3	134	12,326	2	0	4	137
				T3LG	10,363	2	0	2	115	10,800	2	0	2	120	11,011	2	0	2	122
				T4M	11,774	2	0	4	131	12,271	2	0	4	136	12,510	2	0	4	139
				T4LG	10,709	1	0	2	119	11,160	2	0	2	124	11,378	2	0	2	126
				TFTM	11,856	2	0	3	132	12,356	2	0	4	137	12,596	2	0	4	140
				T5M	12,114	4	0	2	134	12,625	4	0	2	140	12,871	4	0	2	143
				T5W	12,310	4	0	3	137	12,830	4	0	3	142	13,080	4	0	3	145
				T5LG	12,149	3	0	2	135	12,662	3	0	2	141	12,908	3	0	2	143
				BLC3	8,438	0	0	2	94	8,794	0	0	2	98	8,966	0	0	2	99
				BLC4	8,715	0	0	3	97	9,083	0	0	3	101	9,260	0	0	3	103
				RCCO	8,515	1	0	2	94	8,874	1	0	2	98	9,047	1	0	2	100
				LCCO	8,515	1	0	2	94	8,874	1	0	2	98	9,047	1	0	2	100
				AFR	12,380	2	0	2	137	12,902	2	0	2	143	13,154	2	0	2	146
				40	1050	P6	137W	T1S	17,545	2	0	3	128	18,285	2	0	3	133	18,642
T2M	16,253	3	0					4	119	16,939	3	0	4	124	17,269	3	0	4	126
T3M	16,442	2	0					4	120	17,135	3	0	4	125	17,469	3	0	4	128
T3LG	14,687	2	0					2	107	15,306	2	0	2	112	15,605	2	0	2	114
T4M	16,687	2	0					4	122	17,391	3	0	5	127	17,730	3	0	5	129
T4LG	15,177	2	0					2	111	15,817	2	0	2	115	16,125	2	0	2	118
TFTM	16,802	2	0					4	123	17,511	2	0	4	128	17,852	2	0	5	130
T5M	17,168	4	0					2	125	17,893	5	0	3	131	18,241	5	0	3	133
T5W	17,447	5	0					3	127	18,183	5	0	3	133	18,537	5	0	3	135
T5LG	17,218	4	0					2	126	17,944	4	0	2	131	18,294	4	0	2	134
BLC3	11,959	0	0					3	87	12,464	0	0	3	91	12,707	0	0	3	93
BLC4	12,352	0	0					4	90	12,873	0	0	4	94	13,124	0	0	4	96
RCCO	12,067	1	0					3	88	12,576	1	0	3	92	12,821	1	0	3	94
LCCO	12,067	1	0					3	88	12,576	1	0	3	92	12,821	1	0	3	94
AFR	17,545	2	0					3	128	18,285	2	0	3	133	18,642	2	0	3	136
40	1300	P7	171W					T1S	20,806	2	0	3	122	21,683	2	0	3	127	22,106
				T2M	19,273	3	0	4	113	20,086	3	0	4	118	20,478	3	0	4	120
				T3M	19,497	3	0	5	114	20,319	3	0	5	119	20,715	3	0	5	121
				T3LG	17,416	2	0	2	102	18,151	2	0	2	106	18,504	2	0	2	108
				T4M	19,787	3	0	5	116	20,622	3	0	5	121	21,024	3	0	5	123
				T4LG	17,997	2	0	2	105	18,756	2	0	2	110	19,121	2	0	2	112
				TFTM	19,924	3	0	5	117	20,765	3	0	5	122	21,170	3	0	5	124
				T5M	20,359	5	0	3	119	21,217	5	0	3	124	21,631	5	0	3	127
				T5W	20,689	5	0	3	121	21,561	5	0	3	126	21,982	5	0	3	129
				T5LG	20,418	4	0	2	120	21,279	4	0	2	125	21,694	4	0	2	127
				BLC3	14,182	0	0	3	83	14,780	0	0	3	87	15,068	0	0	3	88
				BLC4	14,647	0	0	4	86	15,265	0	0	4	89	15,562	0	0	4	91
				RCCO	14,309	1	0	3	84	14,913	1	0	3	87	15,204	1	0	3	89
				LCCO	14,309	1	0	3	84	14,913	1	0	3	87	15,204	1	0	3	89
				AFR	20,806	2	0	3	122	21,683	2	0	3	127	22,106	2	0	3	129

Lumen Output

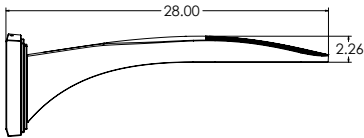
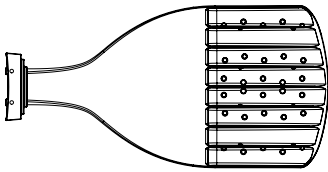
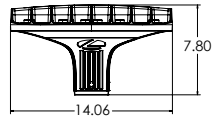
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Rotated Optics																			
LED Count	Drive Current (mA)	Performance Package	System Watts	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
30	530	P10	51W	T1S	7,399	3	0	3	145	7,711	3	0	3	151	7,862	3	0	3	154
				T2M	6,854	3	0	3	135	7,144	3	0	3	140	7,283	3	0	3	143
				T3M	6,933	3	0	3	136	7,225	3	0	3	142	7,366	3	0	3	145
				T3LG	6,194	2	0	2	122	6,455	2	0	2	127	6,581	2	0	2	129
				T4M	7,036	3	0	3	138	7,333	3	0	3	144	7,476	3	0	3	147
				T4LG	6,399	2	0	2	126	6,669	2	0	2	131	6,799	2	0	2	134
				TFTM	7,086	3	0	3	139	7,385	3	0	3	145	7,529	3	0	3	148
				T5M	7,239	3	0	2	142	7,545	3	0	2	148	7,692	3	0	2	151
				T5W	7,357	3	0	2	145	7,667	3	0	2	151	7,816	4	0	2	154
				T5LG	7,260	3	0	1	143	7,567	3	0	1	149	7,714	3	0	1	152
				BLC3	5,043	3	0	3	99	5,256	3	0	3	103	5,358	3	0	3	105
				BLC4	5,208	3	0	3	102	5,428	3	0	3	107	5,534	3	0	3	109
				RCCO	5,089	0	0	2	100	5,303	0	0	2	104	5,407	0	0	2	106
				LCCO	5,089	0	0	2	100	5,303	0	0	2	104	5,407	0	0	2	106
				AFR	7,399	3	0	3	145	7,711	3	0	3	151	7,862	3	0	3	154
				30	700	P11	68W	T1S	9,358	3	0	3	138	9,753	3	0	3	143	9,943
T2M	8,669	3	0					3	127	9,034	3	0	3	133	9,211	3	0	3	135
T3M	8,768	3	0					3	129	9,138	3	0	3	134	9,316	3	0	3	137
T3LG	7,833	3	0					3	115	8,164	3	0	3	120	8,323	3	0	3	122
T4M	8,899	3	0					3	131	9,274	3	0	3	136	9,455	3	0	3	139
T4LG	8,093	3	0					3	119	8,435	3	0	3	124	8,599	3	0	3	126
TFTM	8,962	3	0					3	132	9,340	3	0	3	137	9,522	3	0	3	140
T5M	9,156	4	0					2	135	9,542	4	0	2	140	9,728	4	0	2	143
T5W	9,304	4	0					2	137	9,696	4	0	2	143	9,885	4	0	2	145
T5LG	9,182	3	0					1	135	9,569	3	0	1	141	9,756	3	0	1	143
BLC3	6,378	3	0					3	94	6,647	3	0	3	98	6,777	3	0	3	100
BLC4	6,587	3	0					3	97	6,865	3	0	3	101	6,999	3	0	3	103
RCCO	6,436	0	0					2	95	6,707	0	0	2	99	6,838	0	0	2	101
LCCO	6,436	0	0					2	95	6,707	0	0	2	99	6,838	0	0	2	101
AFR	9,358	3	0					3	138	9,753	3	0	3	143	9,943	3	0	3	146
30	1050	P12	103W					T1S	13,247	3	0	3	128	13,806	3	0	3	134	14,075
				T2M	12,271	4	0	4	119	12,789	4	0	4	124	13,038	4	0	4	126
				T3M	12,412	4	0	4	120	12,935	4	0	4	125	13,187	4	0	4	128
				T3LG	11,089	3	0	3	107	11,556	3	0	3	112	11,782	3	0	3	114
				T4M	12,597	4	0	4	122	13,128	4	0	4	127	13,384	4	0	4	129
				T4LG	11,457	3	0	3	111	11,940	3	0	3	116	12,173	3	0	3	118
				TFTM	12,686	4	0	4	123	13,221	4	0	4	128	13,479	4	0	4	130
				T5M	12,960	4	0	2	125	13,507	4	0	2	131	13,770	4	0	2	133
				T5W	13,170	4	0	3	127	13,726	4	0	3	133	13,994	4	0	3	135
				T5LG	12,998	3	0	2	126	13,546	3	0	2	131	13,810	3	0	2	134
				BLC3	9,029	3	0	3	87	9,409	3	0	3	91	9,593	3	0	3	93
				BLC4	9,324	4	0	4	90	9,718	4	0	4	94	9,907	4	0	4	96
				RCCO	9,110	1	0	2	88	9,495	1	0	2	92	9,680	1	0	2	94
				LCCO	9,110	1	0	2	88	9,494	1	0	2	92	9,680	1	0	2	94
				AFR	13,247	3	0	3	128	13,806	3	0	3	134	14,075	3	0	3	136
				30	1300	P13	129W	T1S	15,704	3	0	3	122	16,366	3	0	3	127	16,685
T2M	14,547	4	0					4	113	15,161	4	0	4	118	15,457	4	0	4	120
T3M	14,714	4	0					4	114	15,335	4	0	4	119	15,634	4	0	4	121
T3LG	13,145	3	0					3	102	13,700	3	0	3	106	13,967	3	0	3	108
T4M	14,933	4	0					4	116	15,563	4	0	4	121	15,867	4	0	4	123
T4LG	13,582	3	0					3	105	14,155	3	0	3	110	14,431	3	0	3	112
TFTM	15,039	4	0					4	117	15,673	4	0	4	122	15,979	4	0	4	124
T5M	15,364	4	0					2	119	16,013	4	0	2	124	16,325	4	0	2	127
T5W	15,613	5	0					3	121	16,272	5	0	3	126	16,589	5	0	3	129
T5LG	15,409	3	0					2	120	16,059	3	0	2	125	16,372	4	0	2	127
BLC3	10,703	4	0					4	83	11,155	4	0	4	87	11,372	4	0	4	88
BLC4	11,054	4	0					4	86	11,520	4	0	4	89	11,745	4	0	4	91
RCCO	10,800	1	0					2	84	11,256	1	0	2	87	11,475	1	0	3	89
LCCO	10,800	1	0					2	84	11,255	1	0	2	87	11,475	1	0	3	89
AFR	15,704	3	0					3	122	16,366	3	0	3	127	16,685	4	0	4	130

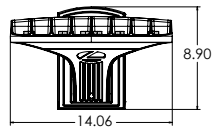
Dimensions



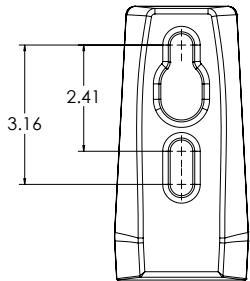
DSX0 with RPA, RPA5, SPA5, SPA8N



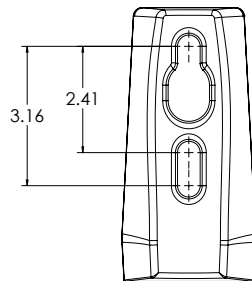
DSX0 with WBA



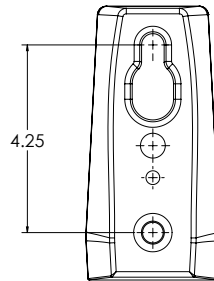
SPA8N



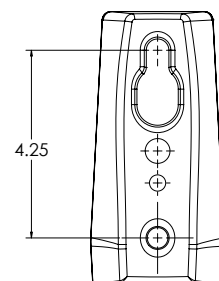
RPA



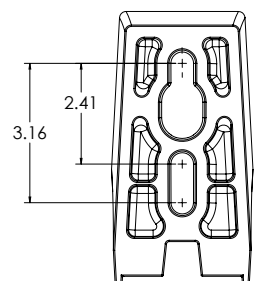
SPA5



RPA5

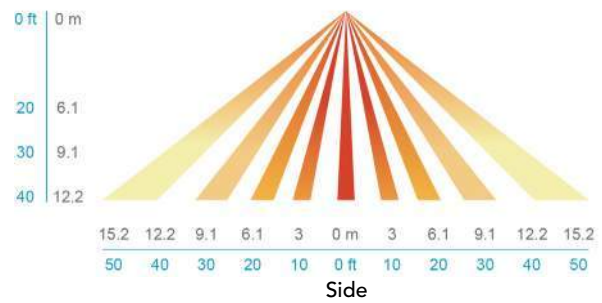
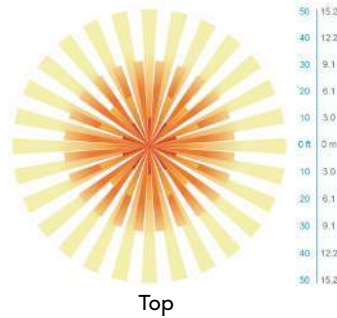


BASE FIXTURE



nLight Sensor Coverage Pattern

NLTAIR2 PIRHN



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing driver compartment is completely sealed against moisture and environmental contaminants (IP66). Vibration rated per ANSI C136.31 for 1.5G. Low EPA (0.44 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

COASTAL CONSTRUCTION (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times may apply.

OPTICS

Precision-molded proprietary silicone lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. 80CRI configurations are also available. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L80/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. PIR integrated motion sensor with on-board photocell feature field-adjustable programming and are suitable for mounting heights up to 40 feet. Control option BL features a bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output.

nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Integral mounting arm allows for fast mounting using Lithonia standard #8 drilling and accommodates pole drilling's from 2.41 to 3.12" on center. The standard "SPA" option for square poles and the "RPA" option for round poles use the #8 drilling. For #5 pole drillings, use SPA5 or RPA5. Additional mountings are available including a wall bracket (WBA) and mast arm (MA) option that allows luminaire attachment to a 2 3/8" horizontal mast arm.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP66 rated. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



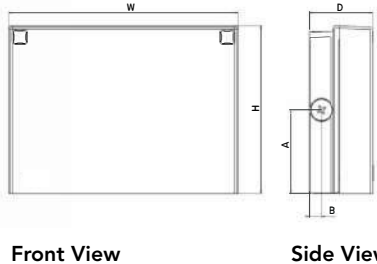
WPX LED Wall Packs



Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications



Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.3 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8kg)
WPX2	9.1" (23.1 cm)	12.3" (31.1 cm)	4.1" (10.5 cm)	4.5" (11.5 cm)	0.7" (1.7 cm)	8.2 lbs (3.7kg)
WPX3	9.5" (24.1 cm)	13.0" (33.0 cm)	5.5" (13.7 cm)	4.7" (12.0 cm)	0.7" (1.7 cm)	11.0 lbs (5.0kg)

Introduction

The WPX LED wall packs are energy-efficient, cost-effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution.

The WPX full cut-off solutions fully cover the footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	30K 3000K	MVOLT 120V - 277V	(blank) None	DDBXD Dark bronze
WPX1 LED P2	40K 4000K	347 347V ³	E4WH Emergency battery backup, CEC compliant (4W, 0°C min) ²	DWHXD White
WPX2 LED	50K 5000K		E14WC Emergency battery backup, CEC compliant (14W, -20°C min) ²	DBLXD Black
WPX3 LED			PE Photocell ³	Note : For other options, consult factory.

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

NOTES

- All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection. Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD
- Battery pack options only available on WPX1 and WPX2.
- Battery pack options not available with 347V and PE options.

FEATURES & SPECIFICATIONS

INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

CONSTRUCTION

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

LISTINGS

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx.

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



Performance Data

Electrical Load

Luminaire	Input Power (W)	120V	208V	240V	277V	347V
WPX1 LED P1	11W	0.09	0.05	0.05	0.04	0.03
WPX1 LED P2	24W	0.20	0.12	0.10	0.09	0.07
WPX2	47W	0.39	0.23	0.20	0.17	0.14
WPX3	69W	0.58	0.33	0.29	0.25	0.20

Projected LED Lumen Maintenance

Data references the extrapolated performance projections in a 25°C ambient, based on 6,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	50,000	75,000	100,000
Lumen Maintenance Factor	>0.94	>0.92	>0.90

Lumen Output

Luminaire	Color Temperature	Lumen Output
WPX1 LED P1	3000K	1,537
	4000K	1,568
	5000K	1,602
WPX1 LED P2	3000K	2,748
	4000K	2,912
	5000K	2,954
WPX2	3000K	5,719
	4000K	5,896
	5000K	6,201
WPX3	3000K	8,984
	4000K	9,269
	5000K	9,393

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-50°C (32-122°F).

Ambient	Ambient	Lumen Multiplier
0°C	32°F	1.05
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

HID Replacement Guide

Luminaire	Equivalent HID Lamp	WPX Input Power
WPX1 LED P1	100W	11W
WPX1 LED P2	150W	24W
WPX2	250W	47W
WPX3	400W	69W

Emergency Egress Battery Packs

The emergency battery backup is integral to the luminaire — no external housing or back box is required. The emergency battery will power the luminaire for a minimum duration of 90 minutes and deliver minimum initial output of 550 lumens. Both battery pack options are CEC compliant.

Battery Type	Minimum Temperature Rating	Power (Watts)	Controls Option	Ordering Example
Standard	0°C	4W	E4WH	WPX2 LED 40K MVOLT E4WH DDBXD
Cold Weather	-20°C	14W	E14WC	WPX2 LED 40K MVOLT E14WC DDBXD

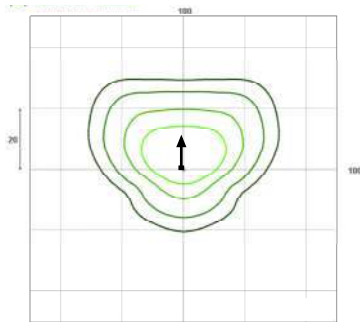
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting [WPX LED](#) homepage. Tested in accordance with IESNA LM-79 and LM-80 standards

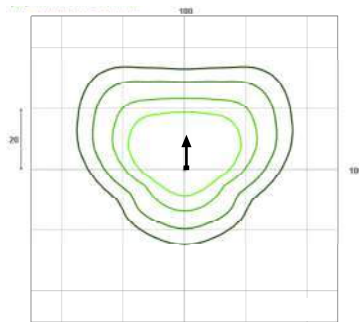
LEGEND

	0.1 fc
	0.2 fc
	0.5 fc
	1.0 fc

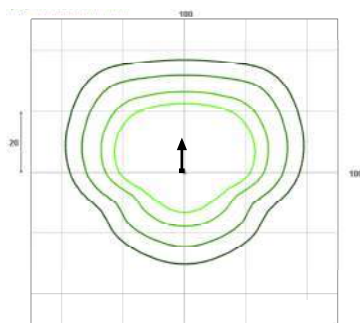
WPX1 LED P1



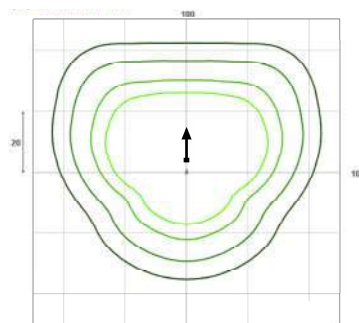
WPX1 LED P2



WPX2 LED



WPX3 LED



Mounting Height = 12 Feet.

62.23 City planning.

(1) COMMISSION.

- (a) The council of any city may by ordinance create a "City Plan Commission," to consist of 7 members. The commission shall also include, as a nonvoting member, a representative from a military base or installation, with at least 200 assigned military personnel or that contains at least 2,000 acres, that is located in the city, if the base's or installation's commanding officer appoints such a representative. All members of the commission, other than the representative appointed by the commanding officer of a military base or installation, shall be appointed by the mayor, who shall also choose the presiding officer. The mayor may appoint himself or herself to the commission and may appoint other city elected or appointed officials, except that the commission shall always have at least 3 citizen members who are not city officials. Citizen members shall be persons of recognized experience and qualifications. The council may by ordinance provide that the membership of the commission shall be as provided thereunder.
- (d) The members of the commission shall be appointed to hold office for a period of 3 years. Appointments shall be made by the mayor during the month of April for terms that expire in April or at any other time if a vacancy occurs during the middle of a term.
- (e) The city plan commission shall have power and authority to employ experts and a staff, and to pay for their services and such other expenses as may be necessary and proper, not exceeding, in all, the appropriation that may be made for such commission by the legislative body, or placed at its disposal through gift, and subject to any ordinance or resolution enacted by the governing body.
- (f) Any city may by ordinance increase the number of members of the city plan commission so as to provide that the building commissioner or building inspector shall serve as a member thereof.

- ### (2) FUNCTIONS.
- Except as provided under sub. (7a) (am), it shall be the function and duty of the commission to make and adopt a master plan for the physical development of the city, including any areas outside of its boundaries that in the commission's judgment bear relation to the development of the city provided, however, that in any county where a regional planning department has been established, areas outside the boundaries of a city may not be included in the master plan without the consent of the county board of supervisors. The master plan, with the accompanying maps, plats, charts, and descriptive and explanatory matter, shall show the commission's recommendations for such physical development, and shall, as described in sub. (3) (b), contain at least the elements described in s. 66.1001 (2). The commission may from time to time amend, extend, or add to the master plan or carry any part or subject matter into greater detail. The commission may adopt rules for the transaction of business and shall keep a record of its resolutions, transactions, findings, and determinations, which record shall be a public record.

(3) THE MASTER PLAN.

- (a) The master plan shall be made with the general purpose of guiding and accomplishing a coordinated, adjusted and harmonious development of the municipality which will, in accordance with existing and future needs, best promote public health, safety, morals, order, convenience, prosperity or the general welfare, as well as efficiency and economy in the process of development.
 - (b) The commission may adopt the master plan as a whole by a single resolution, or, as the work of making the whole master plan progresses, may from time to time by resolution adopt a part or parts of a master plan. Beginning on January 1, 2010, or, if the city is exempt under s. 66.1001 (3m), the date under s. 66.1001 (3m) (b), if the city engages in any program or action described in s. 66.1001 (3), the master plan shall contain at least all of the elements specified in s. 66.1001 (2). The adoption of the plan or any part, amendment, or addition, shall be by resolution carried by the affirmative votes of not less than a majority of all the members of the city plan commission. The resolution shall refer expressly to the elements under s. 66.1001 and other matters intended by the commission to form the whole or any part of the plan, and the action taken shall be recorded on the adopted plan or part of the plan by the identifying signature of the secretary of the commission, and a copy of the plan or part of the plan shall be certified to the common council, and also to the commanding officer, or the officer's designee, of any military base or installation, with at least 200 assigned military personnel or that contains at least 2,000 acres, that is located in or near the city. The purpose and effect of the adoption and certifying of the master plan or part of the plan shall be solely to aid the city plan commission and the council in the performance of their duties.
- ### (4) MISCELLANEOUS POWERS OF THE COMMISSION.
- The commission may make reports and recommendations relating to the plan and development of the city to public officials and agencies, public utility companies, civic, educational,

professional and other organizations, and citizens. It may recommend to the mayor or council, programs for public improvements and the financing thereof. All public officials shall, upon request, furnish to the commission, within a reasonable time, such available information as it may require for its work. The commission, its members and employees, in the performance of its functions, may enter upon any land, make examinations and surveys, and place and maintain necessary monuments and marks thereon. In general, the commission shall have such powers as may be necessary to enable it to perform its functions and promote municipal planning.

- (5) MATTERS REFERRED TO CITY PLAN COMMISSION.** The council, or other public body or officer of the city having final authority thereon, shall refer to the city plan commission, for its consideration and report before final action is taken by the council, public body or officer, the following matters: The location and architectural design of any public building; the location of any statue or other memorial; the location, acceptance, extension, alteration, vacation, abandonment, change of use, sale, acquisition of land for or lease of land for any street, alley or other public way, park, playground, airport, area for parking vehicles, or other memorial or public grounds; the location, extension, abandonment or authorization for any public utility whether publicly or privately owned; all plats of lands in the city or within the territory over which the city is given platting jurisdiction by ch. 236; the location, character and extent or acquisition, leasing or sale of lands for public or semipublic housing, slum clearance, relief of congestion, or vacation camps for children; and the amendment or repeal of any ordinance adopted pursuant to this section. Unless such report is made within 30 days, or such longer period as may be stipulated by the common council, the council or other public body or officer, may take final action without it.
- (6) OFFICIAL MAP.**